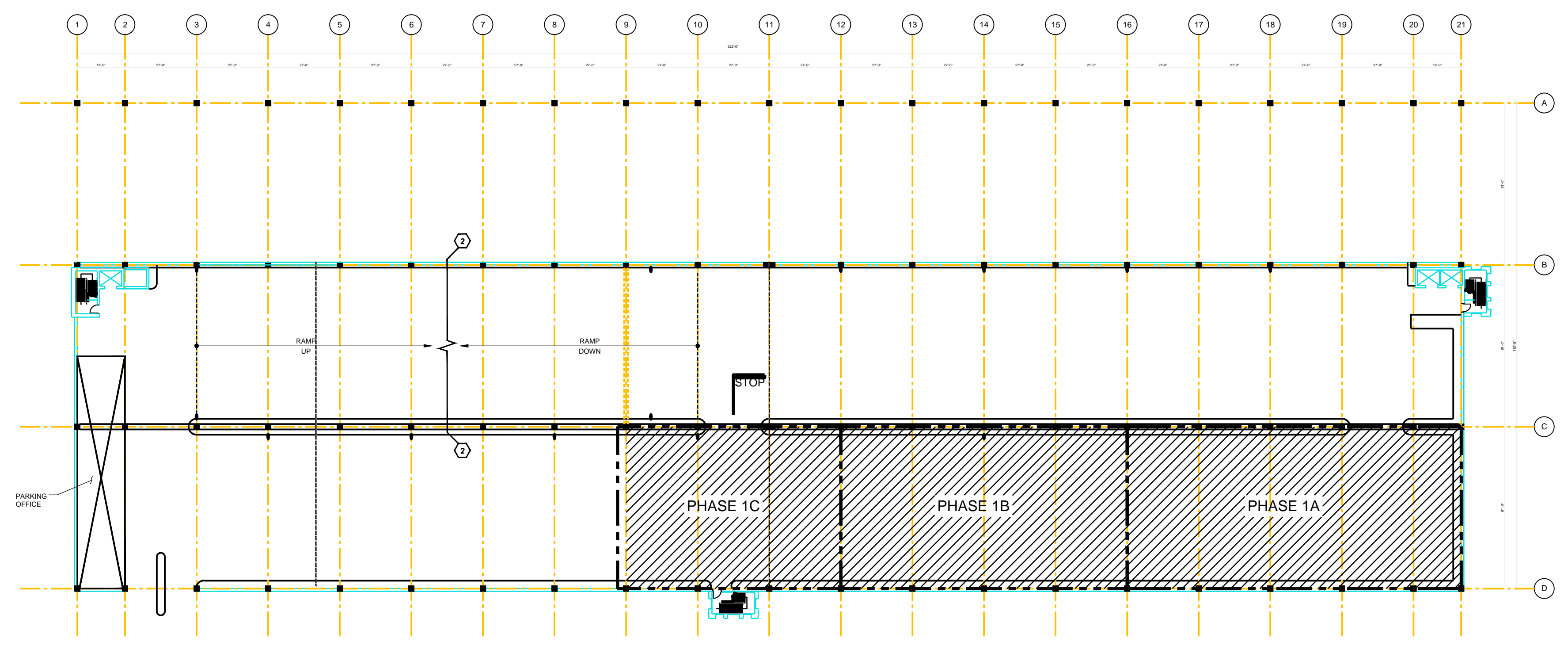


# WESTCHESTER MEDICAL CENTER PARKING GARAGE REPAIR - 2019

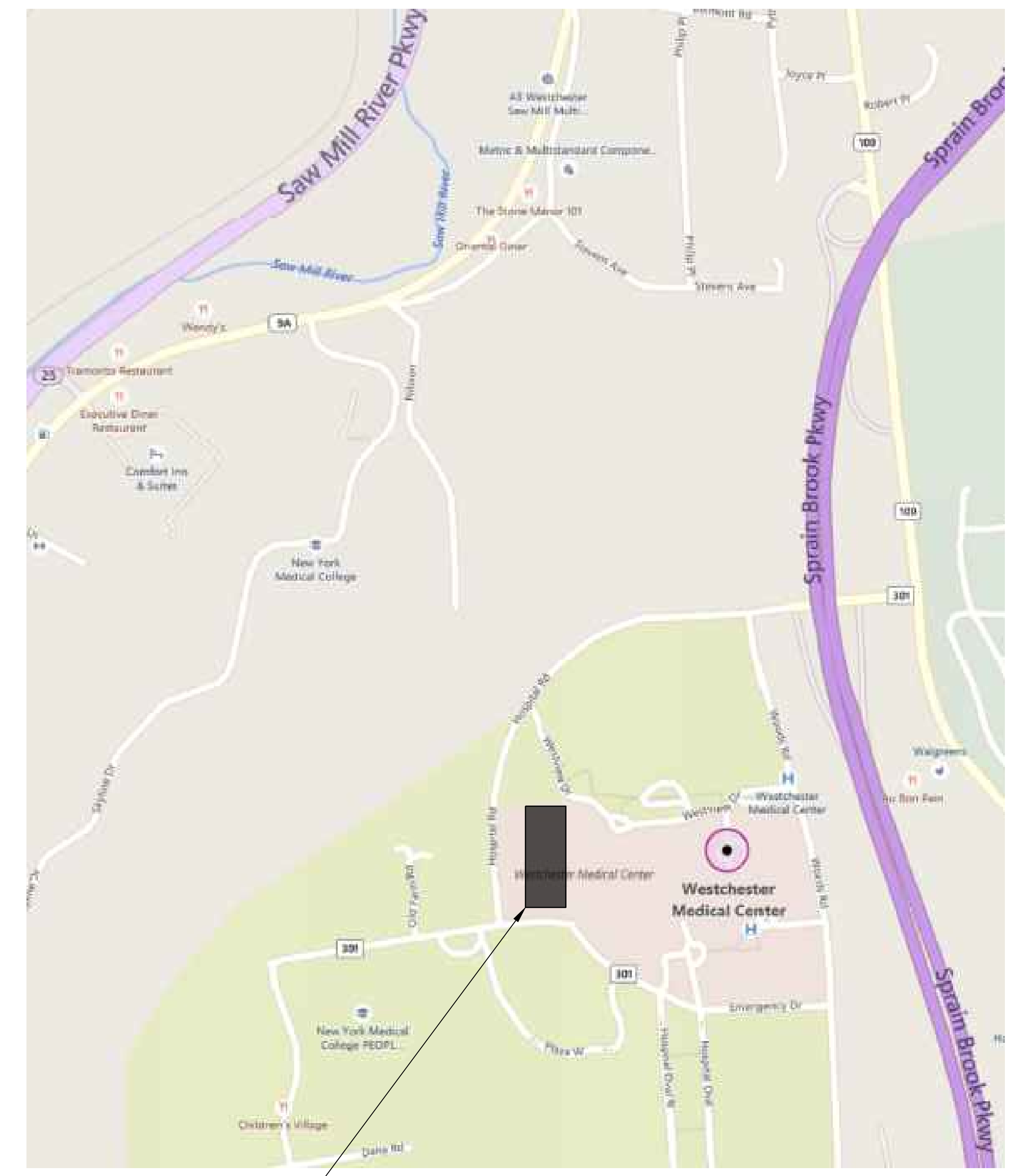
VALHALLA, NY

WALKER RESTORATION CONSULTANTS  
PROJECT NO. 18-1590.00

SHEET INDEX		
RESTORATION		
PARKING STRUCTURE DRAWING LIST		
DWG. NO.	DRAWING TITLE	ISSUED FOR CLIENT REVIEW
R-000.00	TITLE SHEET	04/05/2019
R-001.00	GENERAL NOTES AND WORK ITEM LIST & SCHEDULE	
R-101.00	GRADE LEVEL REFLECTED CEILING PLAN	
R-102.00	LEVEL TWO FLOOR PLAN	
R-501.00	REPAIR DETAILS	
R-502.00	REPAIR DETAILS	



PHASING PLAN



PROJECT SITE  
LOCATION MAP  
TRUE NORTH

**WALKER**  
RESTORATION CONSULTANTS  
49 West 38th Street  
9th Floor  
New York, NY 10018  
212.288.2501 Ph  
212.288.2543 Fax  
www.walkerrestoration.com

Walker Parking Consultants/Engineers, Inc.  
Firm Certificate of Authority Number: 0023508



LEON Y. GEOXAVIER, R.A.  
New York License No. 032025-1



NEW YORK

WESTCHESTER MEDICAL CENTER  
PARKING & GARAGE REPAIR 2019

VALHALLA

NO.	DATE	DESCRIPTION
1	04/05/2019	ISSUED FOR CLIENT REVIEW

PROJECT NO: 18-1590.00  
DRAWN BY: EB  
CHECKED BY: LYG  
SHEET TITLE:

TITLE SHEET

R-000.00

J:\18-1590-00-WESTCHESTER\_MEDICAL\_CENTER\_PG\_2019\_CD-ESD\DRAWINGS\CAD\RESTOR\R000.DWG 5/3/2019 3:01:11 PM YENAZAROV, ARTEM

GENERAL NOTES

- A. CONSTRUCTION
1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE OF NEW YORK AND CITY OF VALHALLA CODES AND ORDINANCES, INCLUDING FIRE CODES.
2. ALL MATERIAL PROPERTIES SHALL BE AS NOTED IN SPECIFICATIONS.
3. PRIOR TO FABRICATION OF ANY MATERIAL OR PLACEMENT OF CONCRETE, FIELD VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS SHOWN ON DRAWINGS. REPORT ALL DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
4. DO NOT SCALE DRAWINGS.

- B. CONSTRUCTION DOCUMENTS
1. CONSTRUCTION DOCUMENTS ENTITLED "WMC PARKING GARAGE REPAIRS TO ORCHARD PARKING STRUCTURE" INCLUDES THESE DRAWINGS AND SEPARATELY BOUND SPECIFICATIONS. FOR PURPOSES OF PERFORMING THE WORK, DRAWINGS AND SPECIFICATIONS SHALL BE A SINGLE UNIT.
2. DIMENSIONS SHOWN ON PLANS ARE BASED ON ORIGINAL CONSTRUCTION DOCUMENTS. THE CONTRACTOR IS REQUIRED TO FIELD VERIFY ALL CONDITIONS FOR THE PURPOSE OF PREPARING THE BID AND PERFORMING THE WORK.
3. REFER TO SPECIFICATION SECTION 020010 FOR SCOPE, DESCRIPTION AND REQUIREMENTS OF WORK.

- C. DETAILS AND SYMBOLS
1. ALL REPAIR DETAILS ARE SHOWN ON DRAWINGS R-501, R-502, AND R-503
2. DETAILS (FOR CLARIFICATION ONLY) DO NOT REPRESENT A SEPARATE PRICE ITEM. THESE DETAILS SUPPLEMENT THE BASIC DETAIL TO PROVIDE ADDITIONAL INFORMATION. IN SOME CASES THESE DETAILS SHOW VARIATION OF THE TYPICAL CONDITION.
3. WHERE THE WORK ITEM BUBBLE IS NOTED "TYP," IT MEANS THE WORK ITEM OCCURS AT ALL LOCATIONS WHERE THE APPLICABLE DETERIORATION OR DESIGNATION SYMBOL OCCURS ON THAT PLAN.
4. WHERE "T.A.R." IS NOTED, IT MEANS THERE MAY BE AREAS OF THIS WORK IN ADDITION TO THE PARTICULAR DESIGNATED AREAS.
5. WHERE TWO OR MORE WORK ITEM BUBBLES ARE GROUPED TOGETHER, IT MEANS ANY OR ALL OF THE DESIGNATED WORK ITEMS MAY BE APPLICABLE. COORDINATION OF WORK ITEMS IS CONTRACTOR'S RESPONSIBILITY.
6. WHEN A WORK ITEM OR DETAIL IS LISTED AS INCIDENTAL THAT WORK IS INCLUDED IN THE PAY UNIT OF OTHER WORK ITEMS AND DOES NOT HAVE A SEPARATE PRICE.
7. WHEN A DETAIL IS LABELED (FOR REFERENCE ONLY) IT PROVIDES INFORMATION ONLY ABOUT INCIDENTAL WORK AND DOES NOT HAVE A PAY UNIT.
8. CONTRACTOR IS RESPONSIBLE FOR DETERMINING ACTUAL EXTENT AND LOCATIONS OF REPAIR AREAS IN ACCORDANCE WITH THE SPECIFICATIONS; WORK ITEM IS SHOWN ONLY TO REPRESENT THE TYPES OF DETERIORATION.
9. SEE WORK ITEM SPECIFICATION INFORMATION REGARDING DETAILS.

- D. CONCRETE PROTECTION FOR REINFORCEMENT:
THE FOLLOWING APPLIES FOR FULL SECTION REPLACEMENT WHERE SHOWN ON DRAWINGS:
A. THE MINIMUM CONCRETE PROTECTION FOR REINFORCEMENT SHALL BE PER ACI 318-99, SECTION 7.7.
B. MINIMUM COVER FOR REINFORCING IN CONCRETE AND MEMBERS SHALL BE 1-1/2".

- E. EPOXY COATING FOR EXISTING REINFORCEMENT AND ANCHORS.
1. EPOXY COAT ALL EXISTING REINFORCEMENT, EXCEPT WELDED WIRE REINFORCEMENT, IN CAST IN PLACE CONCRETE.

- F. SHORING AND BRACING
1. CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, PROTECTIVE ENCLOSURES, ETC. REQUIRED FOR SAFETY AND PROPER EXECUTION OF THE WORK.
2. CONTRACTOR IS SOLELY RESPONSIBLE TO PREPARE SHOP DRAWING FOR BRACING AND SHORING MEMBERS DESIGNED AND STAMPED/SEALED BY A PROFESSIONAL ENGINEER (REGISTERED IN STATE OF NEW YORK) AND SUBMIT THEM TO THE ENGINEER FOR RECORD.

- G. EXISTING SERVICES AND UTILITIES
1. CONTRACTOR SHALL REVIEW ALL EXISTING CONDITIONS TO DETERMINE ALL ELECTRICAL AND MECHANICAL SERVICES AND UTILITIES AFFECTED BY THE REPAIR WORK. MAKE NECESSARY TEMPORARY CONNECTIONS TO MAINTAIN EXISTING SERVICES TO ALL AREAS OF THE PARKING GARAGE OR OTHER AREAS (NOT IN CONTRACT) AFFECTED BY THE WORK. THE CONTRACTOR SHALL SUBMIT THE METHODS AND SCHEDULE OF CONNECTIONS FOR THE OWNER'S APPROVAL PRIOR TO COMMENCEMENT.

- H. CONSTRUCTION PHASING, COORDINATION AND TRAFFIC MAINTENANCE
1. WORK SEQUENCE SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE AND GARAGE OPERATOR.
2. OWNER WILL CONTINUE TO USE GARAGE DURING RESTORATION PROJECT. CONTRACTOR MUST PHASE AND ARRANGE WORK SO AS TO MAINTAIN ACCESS AT ALL TIMES TO ALL PARKING AREAS THAT ARE NOT UNDER CONSTRUCTION FOR BOTH VEHICLES AND PEDESTRIANS.

- I. GENERAL CONCRETE REQUIREMENTS
REFER TO SECTION 020010 FOR SPECIFIC USES.
1. CAST-IN-PLACE CONVENTIONAL CONCRETE (033021)

Table with 2 columns: Property and Value. Includes: COMPRESSIVE STRENGTH 5000 PSI @ 28 DAYS, WATER-CEMENT RATIO 0.40 MAX., SLUMP(MAXIMUM) 6" W/ SUPERPLASTICIZER (AFTER WATER REDUCER ADDITION), AIR CONTENT 7% - 0, +1 1/2%, CEMENT CONTENT 658 LB/C.Y. MIN.

ABBREVIATIONS

- APPROX. = APPROXIMATELY
B = BOTTOM
BM = BEAM
BOT. = BOTTOM
C.I.P. = CAST IN PLACE
C.J. = CONSTRUCTION JOINT/CONTROL JOINT
CLR. = CLEARANCE
COL. = COLUMN
CONC. = CONCRETE
DET. = DETAIL
EA. = EACH
E.J. = EXPANSION JOINT
EXIST. = EXISTING
FIN. = FINISHED
FL. = FLOOR
INC. = INCIDENTAL
L.F. = LINEAR FOOT
L.S. = LUMP SUM
MAX. = MAXIMUM
MIN. = MINIMUM
N/A = NOT APPLICABLE
O.C. = ON CENTER
O.H. = OPPOSITE HAND
P/C = PRECAST
REINF. = REINFORCEMENT
REQ'D = REQUIRED
S.F. = SQUARE FOOT
SIM. = SIMILAR
S.O.G. = SLAB ON GRADE
SPEC. = SPECIFICATION
SUPT. = SUPPORTED
T.A.R. = TYPICAL AS REQUIRED
TYP. = TYPICAL
U.N. OR U.N.O. = UNLESS NOTED OTHERWISE
W.I. = WORK ITEM
W.W.R. = WELDED WIRE REINFORCEMENT

PHASING INSTRUCTIONS AND NOTES

- 1. DEFINITIONS
A. PROTECTION ZONE: THIS IS AN AREA THAT IS TAKEN OUT OF SERVICE AND ISOLATED FROM THE GARAGES NORMAL PEDESTRIAN AND VEHICLE CIRCULATION TO PROTECT THE PATRONS FROM HAZARDS RESULTING FROM WORK BEING PERFORMED ABOVE. WORK THAT REQUIRES PROTECTION ZONES ON THE LEVEL BELOW INCLUDES, BUT IS NOT LIMITED TO, PREPARATION AND APPLICATION OF TRAFFIC TOPPING, CONCRETE DEMOLITION AND PLACEMENTS, SEALANT REMOVAL AND REPLACEMENT & WELDING.
B. WORK ZONE: THIS IS AN AREA THAT IS CAPTURED PER THE PHASING PLAN FOR THE PURPOSE OF PERFORMING PROJECT RELATED WORK ITEMS. THE AREA SHALL BE BARRICADED TO PREVENT GARAGE PATRONS/VEHICLES FROM ENTERING/PARKING WHILE CONTRACTOR IS IN CONTROL OF THE AREA.
C. WORK PHASE AREA: THIS INCLUDES ALL AREAS AFFECTED BY A PARTICULAR PHASE OF THE WORK ZONE. PROTECTION ZONE AND AREA USED FOR TEMPORARY PEDESTRIAN AND VEHICULAR CIRCULATION.
D. PROTECTION PARTITIONS/BARRICADES: THIS DESCRIBES THE BARRICADES AND PARTITION ENCLOSURES THAT WILL BE INSTALLED AROUND THE WORK AND PROTECTION ZONES TO KEEP GARAGE PATRONS AND THEIR VEHICLES OUT OF THOSE RESPECTIVE AREAS. IN ADDITION THESE ELEMENTS MUST KEEP DUST AND OTHER CONSTRUCTION RELATED DEBRIS FROM MIGRATING INTO THE OCCUPIED AREAS OF THE GARAGE.

- 2. PHASING
A. THE MAXIMUM NUMBER OF PARKING OUT OF SERVICE AT ONE TIME SHALL BE LIMITED TO 200. GARAGES SHALL REMAIN OPERATIONAL AT ALL TIMES UNLESS APPROVED BY THE OWNER AS A SELECTED ALTERNATE. DRAWINGS R-002, R-003, R-004 AND R-005 ARE PROVIDED WITH A DIAGRAMMATIC LAYOUT FOR PHASE SEQUENCING OF THE WORK. THE PHASING ACCOUNTS FOR WORK PROTECTION ZONES THAT CAPTURE NO MORE THAN THE 200 SPACE MAXIMUM LIMIT.
B. THE CONTRACTOR SHALL PROVIDE UNOBSTRUCTED PEDESTRIAN ACCESS (PROTECTED WHEN NECESSARY) TO ALL EMERGENCY EGRESS STAIRS AS WELL AS THE MAIN STAIR ELEVATOR TOWER AT ALL TIMES. THE CONTRACTOR SHALL INSTALL AND MAINTAIN SIGNAGE THAT CLEARLY DIRECTS PATRONS TO AND FROM THESE DESTINATIONS. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY LIGHTING THESE PATHS IN THE EVENT THE GARAGE LIGHTING IS BLOCKED OR REDUCED BY PROJECT RELATED WORK.
C. THE CONTRACTOR CAN ELECT TO USE THE ENGINEER'S CONCEPTUAL PHASING PROVIDED OR SUBMIT ALTERNATIVE PHASING. THE CONTRACTOR SHALL SUBMIT PHASING PLANS TO THE OWNER AND ENGINEER FOR EACH PHASE. THE PHASING PLANS SHALL BE KEYED INTO A PROJECT SCHEDULE. THE PHASING PLANS SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:

- LIMITS OF WORK AREA.
• LIMITS OF AREA LOCATED BELOW THE WORK AREA REMOVED FROM SERVICE FOR PROTECTION OF VEHICLES AND PATRONS.
• TEMPORARY PEDESTRIAN PATHS TO EMERGENCY EGRESS STAIRS AND ELEVATOR.
• TEMPORARY VEHICLE CIRCULATION FOR ALL AREAS AFFECTED BY THE PHASE.
• SIGNAGE LAYOUT FOR TEMPORARY PEDESTRIAN AND VEHICLE CIRCULATION. INCLUDE KEY FOR TEXT TO FACILITATE OWNER REVIEW. FLAGMEN POSITIONS (WHEN REQUIRED BY SPECIAL CONDITIONS).

PHASING PLANS SHALL BE SUBMITTED TO THE ENGINEER/OWNER A MINIMUM OF THREE WEEKS BEFORE THE START OF WORK IN A PHASE AREA TO ALLOW SUFFICIENT TIME FOR REVIEW AND CAPTURE OF AREA.

- D. IT SHALL BE THE OWNER OR HIS AGENT'S RESPONSIBILITY TO CLEAR A WORK PHASE AREA OF VEHICLES. THE CONTRACTOR SHALL WORK IN UNISON WITH THE CLEARING OPERATION TO CAPTURE THE AREAS BY INCREMENTALLY INSTALLING BARRICADES TO PREVENT VEHICLES FROM ENTERING THE AREA AS IT IS CLEARED. IN ADDITION, TEMPORARY SIGNAGE SHALL BE INSTALLED AND ADJUSTED BY THE CONTRACTOR DURING THE WORK / PROTECTION ZONE CAPTURE EFFORT. NOTE THAT NEW AREAS CANNOT BE CAPTURED UNTIL PRIOR WORK ZONES OR PORTIONS THEREOF ARE RETURNED TO SERVICE SO THAT THE MAXIMUM LIMIT FOR SPACES OUT OF SERVICE IS NOT EXCEEDED. ALLOW 24 HOURS BETWEEN RETURNING SPACES TO SERVICE AND OCCUPYING EQUAL NUMBER OF SPACES FOR THE NEXT PHASE OF WORK.

- E. WORK ZONE AND PROTECTION ZONE BARRICADES SHALL BE OF SUFFICIENT CONSTRUCTION TO PREVENT INADVERTENT ACCESS BY PATRON VEHICLES AND PEDESTRIANS. THE BARRICADES CAN BE INCORPORATED INTO THE WORK ZONE PROTECTION PARTITIONS THAT ARE INTENDED TO PREVENT THE ESCAPE OF DUST AND OTHER DEBRIS FROM THE WORK ZONE.

- F. THE FOLLOWING PARAMETERS SHALL BE CONSIDERED WHEN DEVELOPING PHASING PLANS AND INSTALLING TEMPORARY BARRICADES DURING CONSTRUCTION.

- PEDESTRIAN PATH WIDTH (MINIMUM): 8'-0"
• PEDESTRIAN PATH HEADROOM (MINIMUM): 7'-6"
• TEMPORARY VEHICLE ONE - WAY TRAVEL LANE (MINIMUM): 12'-0" \*
• TEMPORARY VEHICLE TWO - WAY TRAVEL LANE (MINIMUM): 24'-0" \*
• TEMPORARY VEHICLE LANE HEADROOM HEIGHT: AS POSTED AT GARAGE ENTRANCE

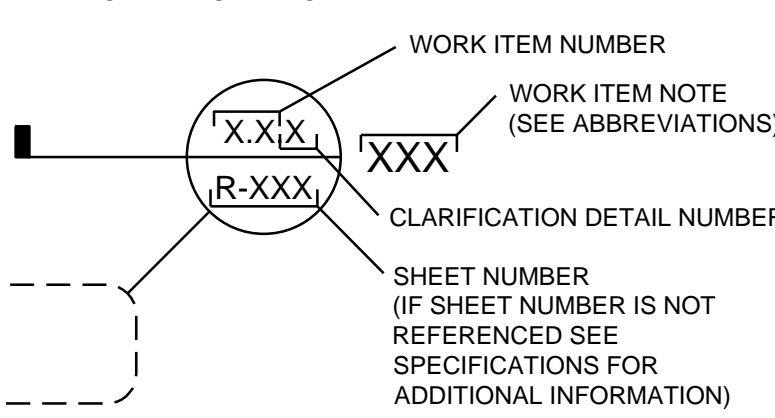
\*ADD 2'-0" TO THE LANE DIMENSION AT TURNING AREAS.

- G. CONTRACTOR SHALL BE RESPONSIBLE TO LOCK OUT STAIRS AND ELEVATOR ACCESS INTO WORK, WORK PHASE, AND AREAS UNDER PROTECTION TO PREVENT UNAUTHORIZED PATRON ACCESS. DOORS SHALL BE SEALED OFF TO PREVENT AIRBORNE DUST FROM ENTERING INTO STAIRWAYS AND ELEVATOR SHAFTS.

H. MISCELLANEOUS NOTES

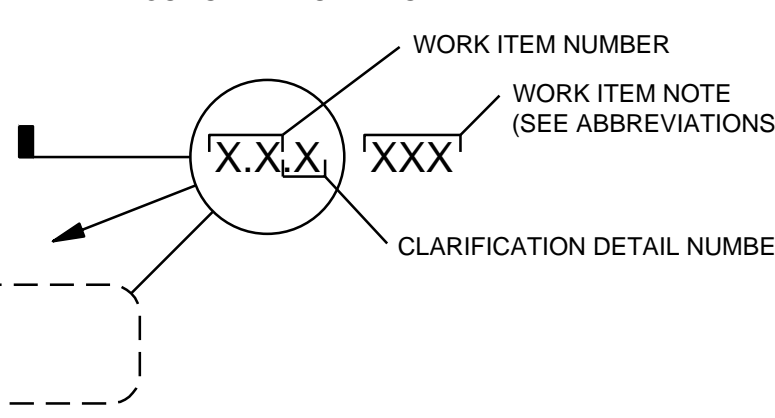
- THE PHASING CONCEPTS CONTAINED IN THESE DOCUMENTS ARE INTENDED TO INDICATE REASONABLE SCENARIOS FOR PHASING WORK. NOT ALL INFORMATION REQUIRED FOR CONTRACTOR PHASING SUBMITTALS ARE INCLUDED IN THESE CONCEPTS AND THEY DO NOT INCLUDE ALL CHALLENGES THAT WILL BE PRESENTED IN PERFORMING THIS PROJECT IN A PHASED MANNER.
• WORK ZONES SHALL NOT BE RETURNED TO SERVICE WHEN HAZARDOUS CONDITIONS ARE PRESENT.
• DO NOT RETURN AREAS TO SERVICE UNLESS EXISTING STRIPING AFFECTED BY WORK HAS BEEN RESTORED OR NEW STRIPING HAS BEEN APPLIED.

WORK ITEM IDENTIFICATION LEGEND WITH SHEET NUMBERS



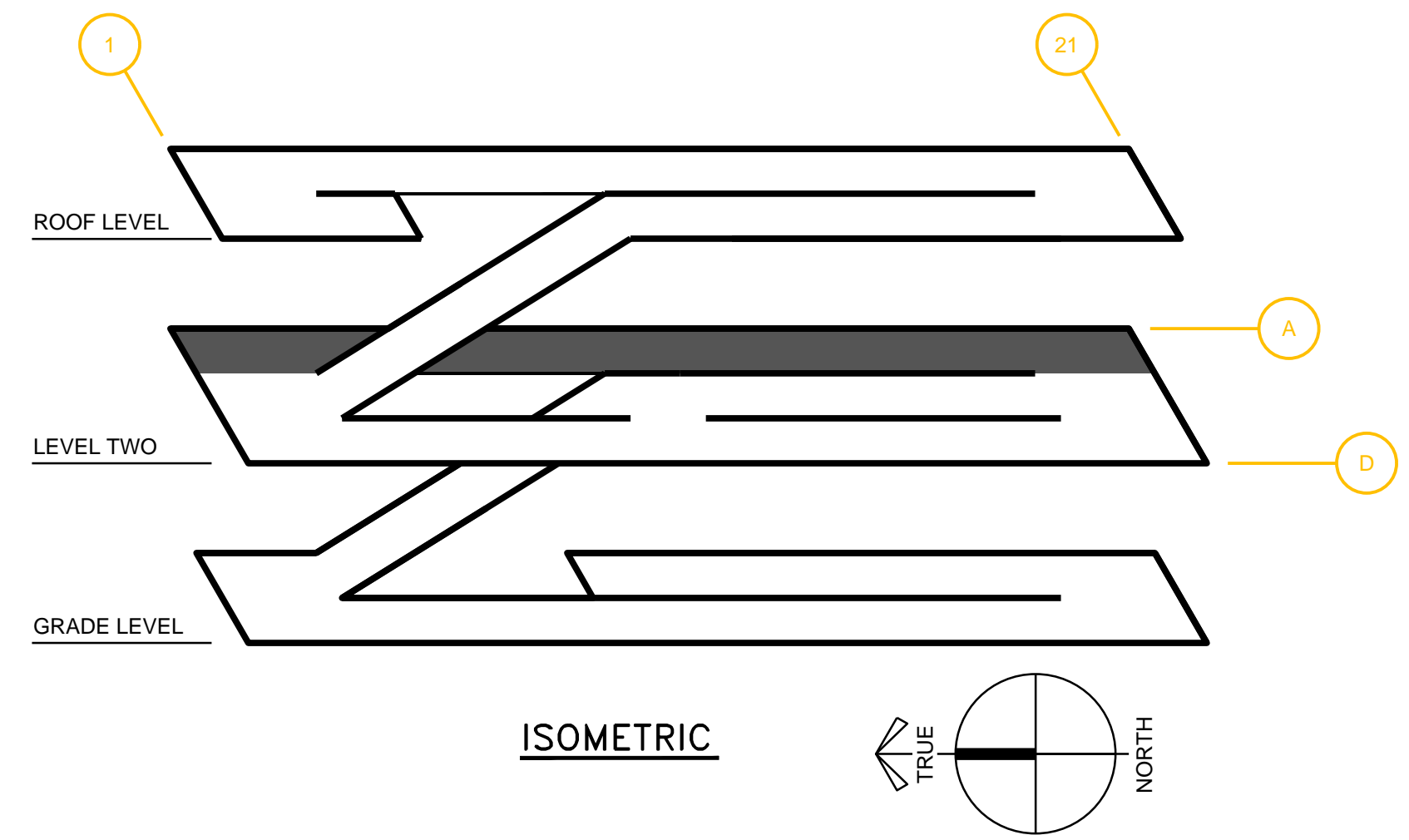
- NOTES:
1. NOT ALL WORK ITEMS HAVE DETAILS.
2. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.

WORK ITEM IDENTIFICATION LEGEND WITHOUT SHEET NUMBERS



- NOTES:
1. NOT ALL WORK ITEMS HAVE DETAILS.
2. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.

STATE UNIT PRICES ON THE FOLLOWING FORMS: Table with columns: WORK ITEM, GENERAL REQUIREMENTS, UNITS, QUANTITY, SYMBOL. Includes items like Project Mobilization, Concrete Formwork, Concrete Floor Repair, etc.



WALKER RESTORATION CONSULTANTS logo and address: 49 West 38th Street, 9th Floor, New York, NY 10018.

REGISTERED ARCHITECT logo for LEON Y. GEOXAVIER, R.A., New York License No. 032025-1.

WESTCHESTER MEDICAL CENTER logo.

NEW YORK

WESTCHESTER MEDICAL CENTER PARKING & GARAGE REPAIR 2019

VALHALLA

LEGEND

- W.I. 3.1 (SUPPORTED LVL) / 3.5 (SLAB-ON-GRADE)
W.I. 8.4 (PARTIAL DEPTH) / 8.5 (FULL DEPTH)
W.I. 3.8 (SCALING REPAIRS)
W.I. 9.1 (EXP JT BLOCKOUT) / 10.3 (EXP JT REPLACEMENT)
F.D. ● EXISTING FLOOR DRAIN LOCATION
TEE STEM OUTLINE (CEILING) (BOTTOM SIDE)
TEE STEM OUTLINE (CEILING) (TOP SIDE)

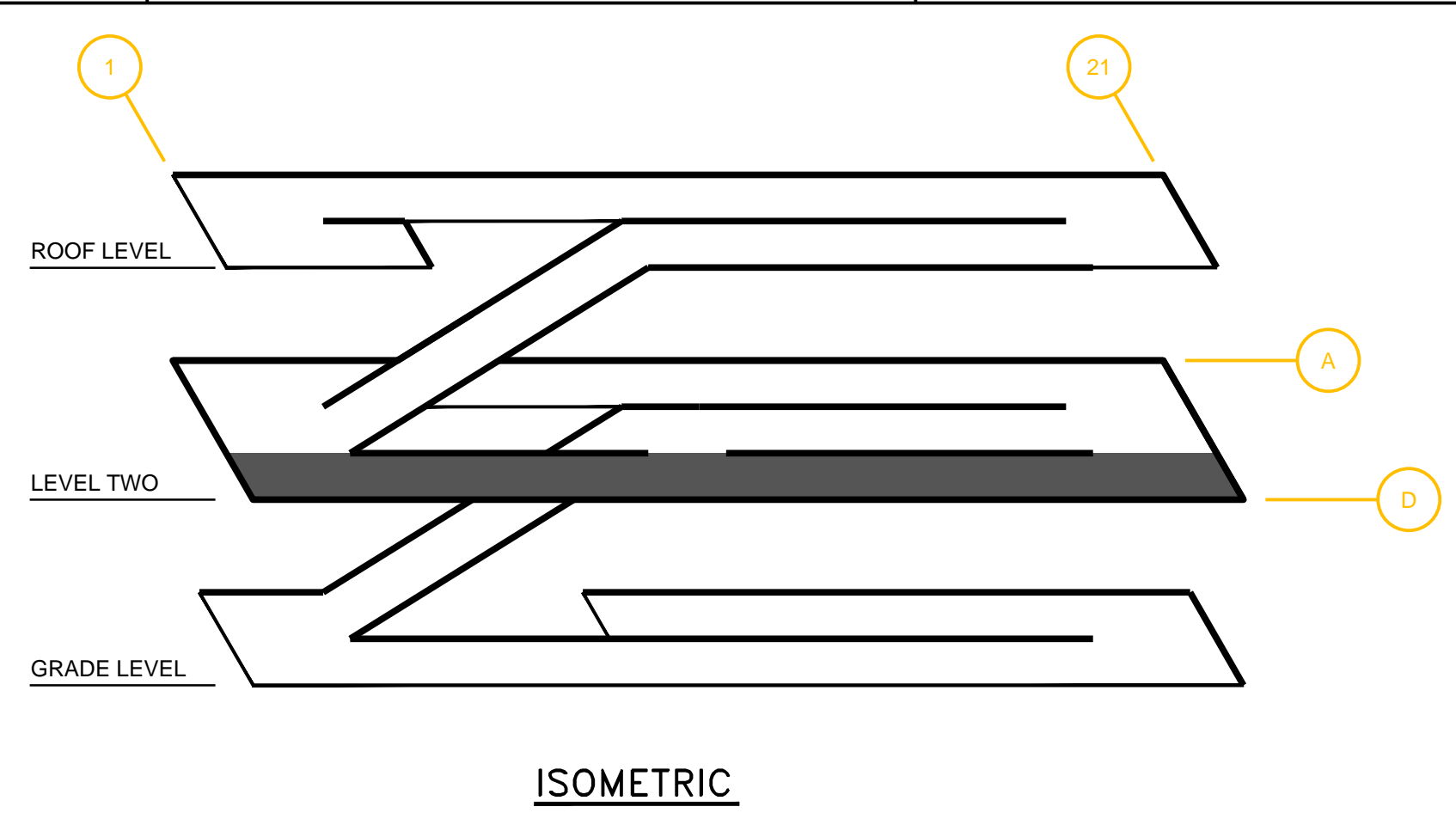
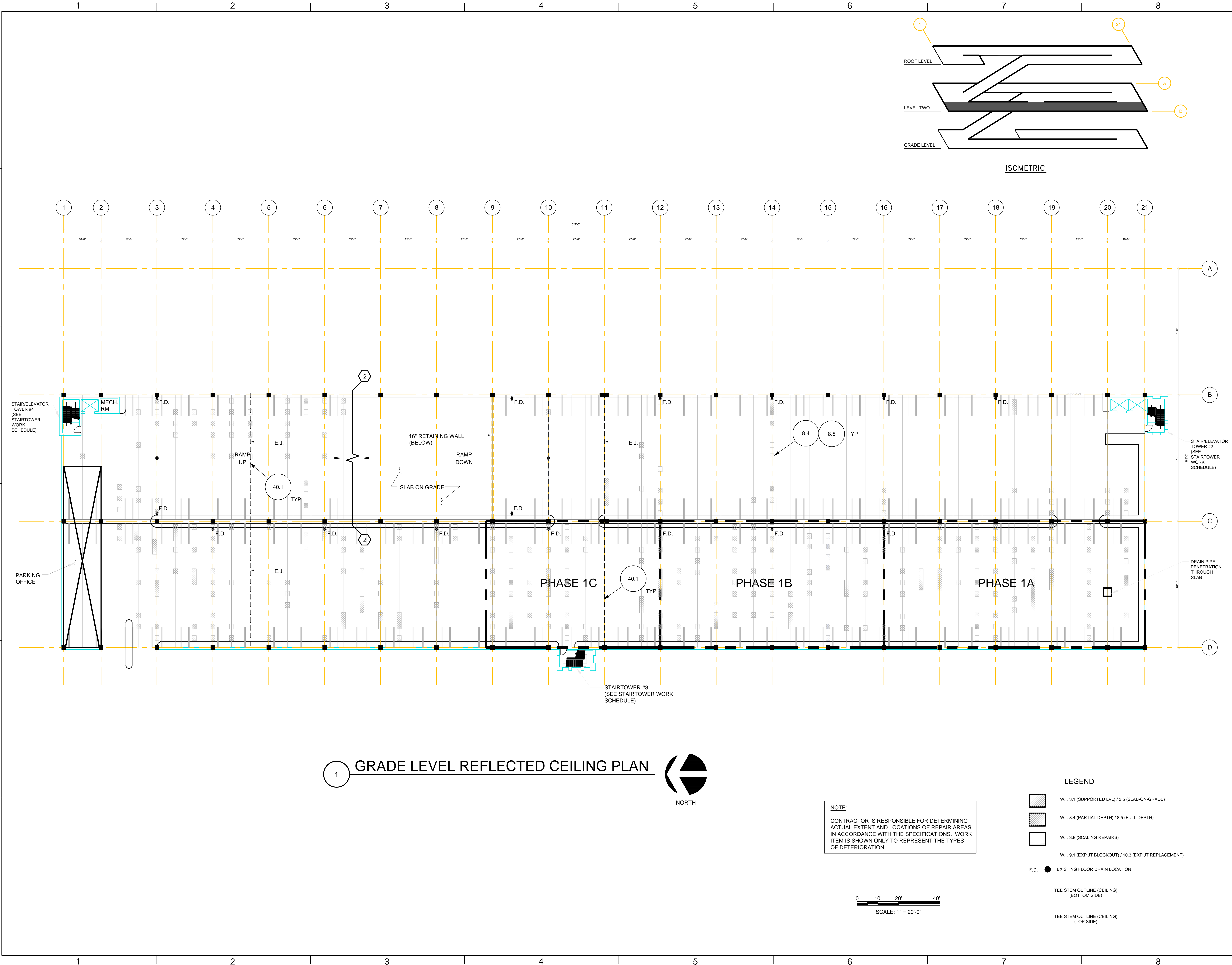
Table with columns: NO., DATE, DESCRIPTION, ISSUED. Includes a row for 1. 04/05/2019 ISSUED FOR CLIENT REVIEW.

PROJECT NO: 18-1590.00
DRAWN BY: EB
CHECKED BY: LYG

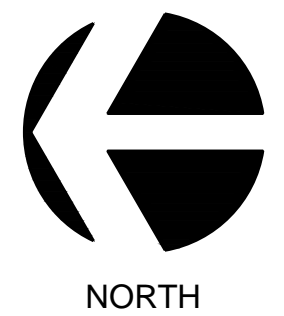
GENERAL NOTES, WORK ITEM LIST & LEGEND

R-001.00

J:\18-1590-00-WESTCHESTER\_MEDICAL\_CENTER\_PG\_2019\_CD-ESD-DRAWINGS\CAD\RESTORR\101.DWG 5/3/2019 3:01:04 PM YENAZAROV, ARTEM

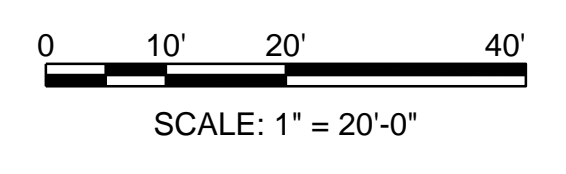


1 GRADE LEVEL REFLECTED CEILING PLAN



**NOTE:**  
 CONTRACTOR IS RESPONSIBLE FOR DETERMINING ACTUAL EXTENT AND LOCATIONS OF REPAIR AREAS IN ACCORDANCE WITH THE SPECIFICATIONS. WORK ITEM IS SHOWN ONLY TO REPRESENT THE TYPES OF DETERIORATION.

- LEGEND**
- W.I. 3.1 (SUPPORTED LVL) / 3.5 (SLAB-ON-GRADE)
  - W.I. 8.4 (PARTIAL DEPTH) / 8.5 (FULL DEPTH)
  - W.I. 3.8 (SCALING REPAIRS)
  - W.I. 9.1 (EXP JT BLOCKOUT) / 10.3 (EXP JT REPLACEMENT)
  - F.D. ● EXISTING FLOOR DRAIN LOCATION
  - TEE STEM OUTLINE (CEILING) (BOTTOM SIDE)
  - TEE STEM OUTLINE (CEILING) (TOP SIDE)



**WALKER**  
 RESTORATION CONSULTANTS  
 49 West 38th Street  
 9th Floor  
 New York, NY 10018  
 212.288.2501 Ph  
 212.288.2543 Fax  
 www.walkerrestoration.com

Walker Parking Consultants/Engineers, Inc.  
 Firm Certificate of Authority Number: 0023508



NEW YORK

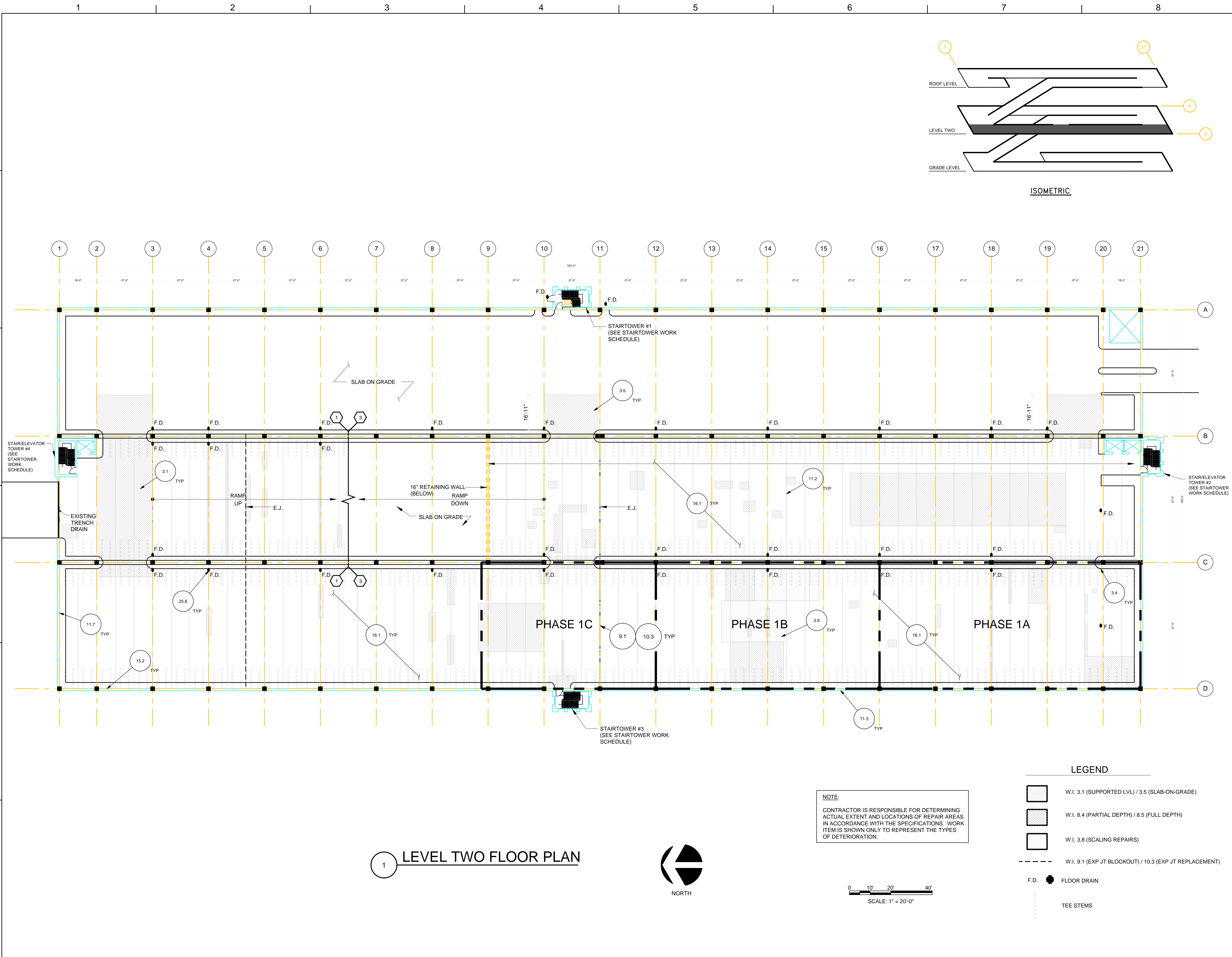
**WESTCHESTER MEDICAL CENTER**  
 PARKING & GARAGE REPAIR 2019

VALHALLA

NO.	DATE	DESCRIPTION	ISSUED
1	05/03/2019	ISSUED FOR CLIENT REVIEW	

PROJECT NO: 18-1590.00  
 DRAWN BY: EB  
 CHECKED BY: LYC  
 SHEET TITLE:  
**GRADE LEVEL REFLECTED CEILING PLAN**  
**R-101.00**

J:\18-1590-00-WESTCHESTER\_MEDICAL\_CENTER\_PG 2019\_CD-ESD\DRAWINGS\CAD\RESTORR\102.DWG 5/6/2019 11:54:38 AM YENAZAROV, ARTEM

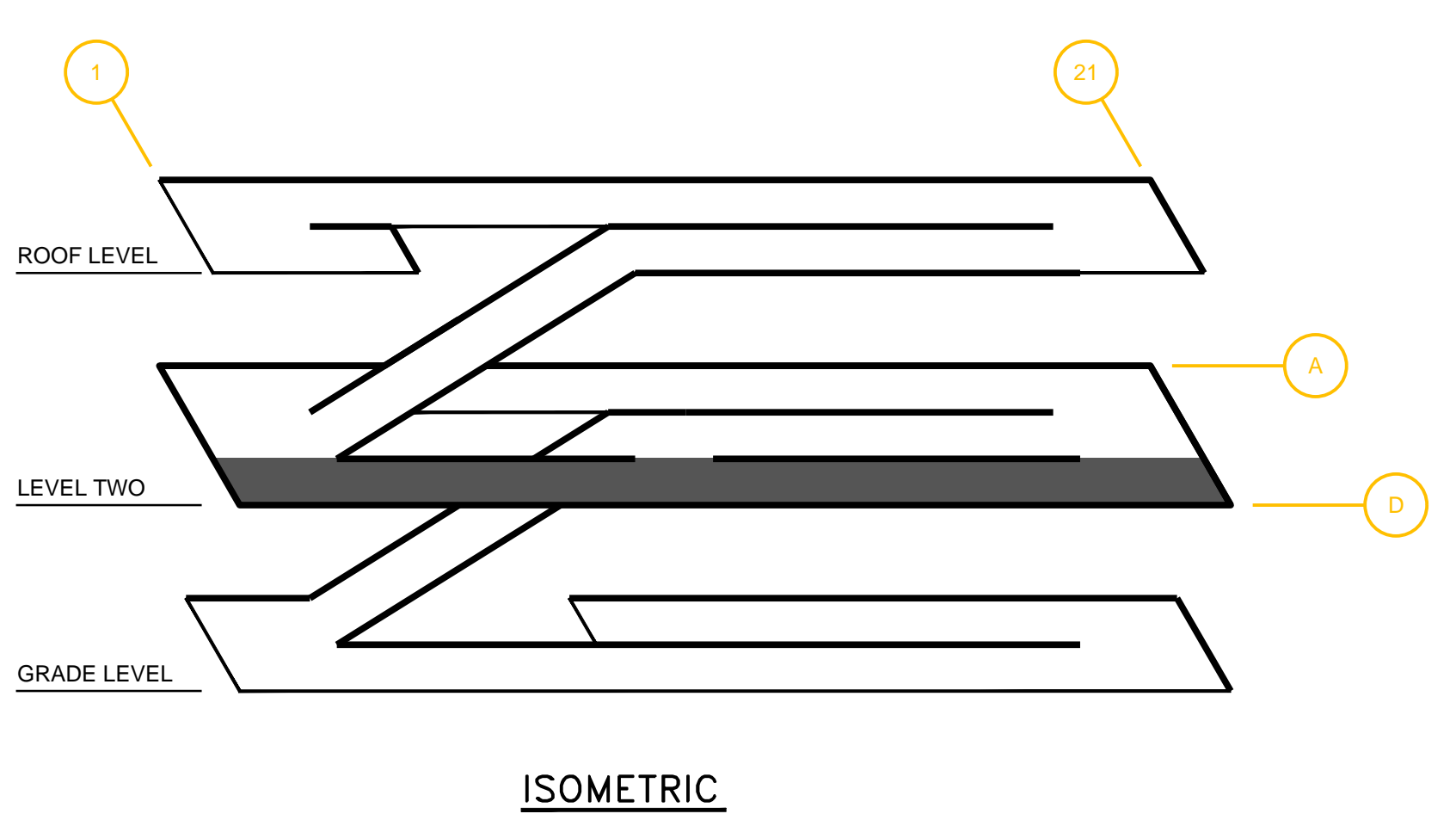


1 LEVEL TWO FLOOR PLAN

**NOTE:**  
 CONTRACTOR IS RESPONSIBLE FOR DETERMINING ACTUAL EXTENT AND LOCATIONS OF REPAIR AREAS IN ACCORDANCE WITH THE SPECIFICATIONS. WORK ITEM IS SHOWN ONLY TO REPRESENT THE TYPES OF DETERIORATION.

**LEGEND**

	W.I. 3.1 (SUPPORTED LVL) / 3.5 (SLAB-ON-GRADE)
	W.I. 8.4 (PARTIAL DEPTH) / 8.5 (FULL DEPTH)
	W.I. 3.8 (SCALING REPAIRS)
	W.I. 9.1 (EXP JT BLOCKOUT) / 10.3 (EXP JT REPLACEMENT)
	F.D. FLOOR DRAIN
	TEE STEMS



**WALKER**  
 RESTORATION CONSULTANTS  
 49 West 38th Street  
 9th Floor  
 New York, NY 10018  
 212.288.2501 Ph  
 212.288.2543 Fax  
 www.walkerrestoration.com

Walker Parking Consultants/Engineers, Inc.  
 Firm Certificate of Authority Number: 0023558

**REGISTERED ARCHITECT**  
 LEON Y. GEOXAVIER, R.A.  
 New York License No. 032025-1

**WESTCHESTER MEDICAL CENTER**

NEW YORK

**WESTCHESTER MEDICAL CENTER**  
 PARKING & GARAGE REPAIR 2019

VALHALLA

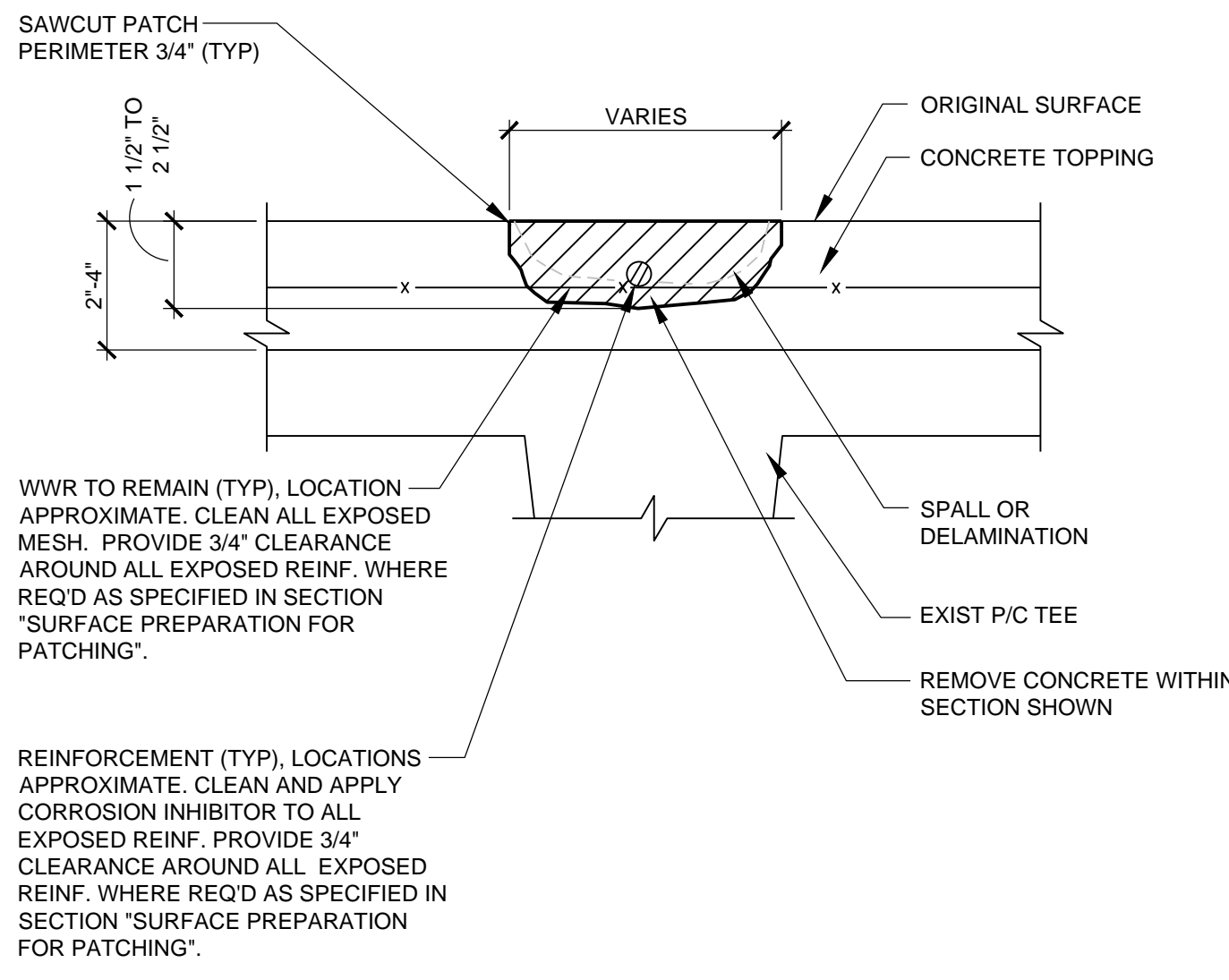
NO.	DATE	DESCRIPTION
1	08/02/19	ISSUED FOR CLIENT REVIEW

PROJECT NO: 18-1590.00  
 DRAWN BY: EB  
 CHECKED BY: LYC  
 SHEET TITLE:  
**LEVEL TWO FLOOR PLAN**  
**R-102.00**

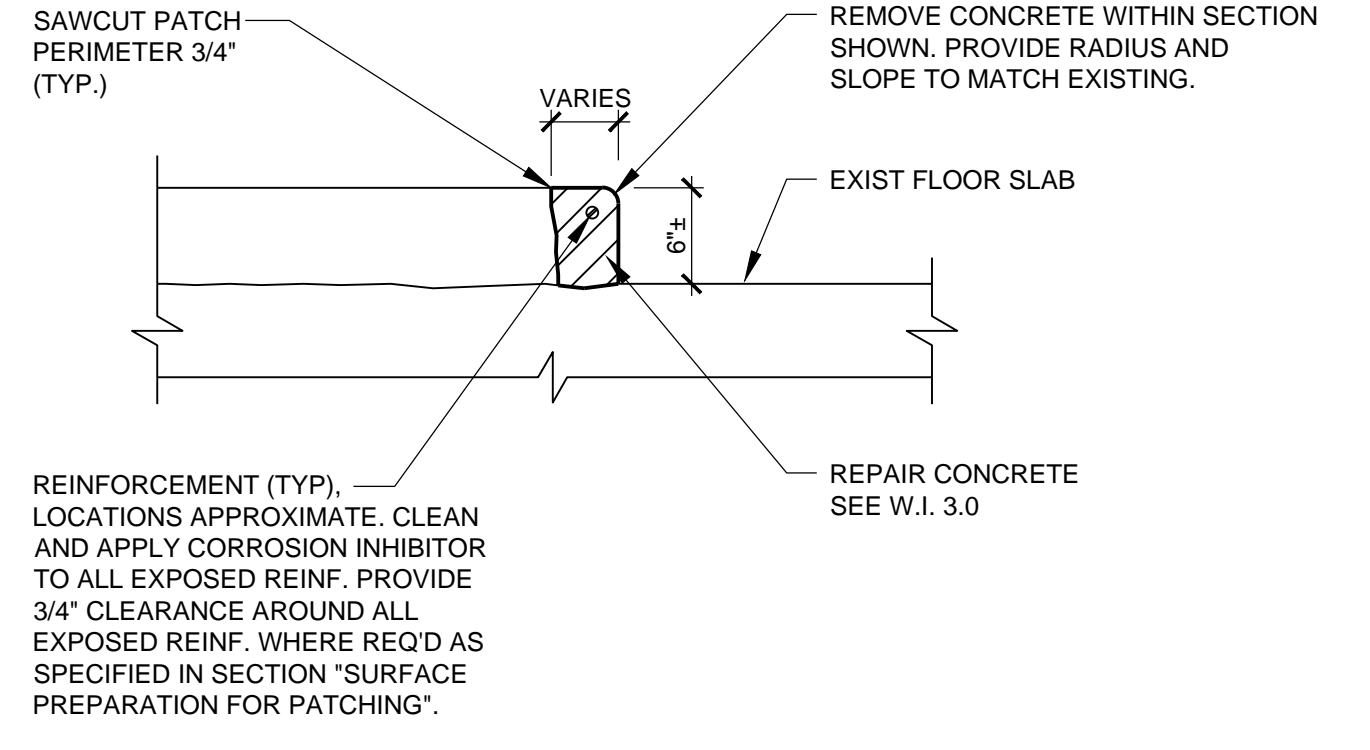
**TEMPORARY CONSTRUCTION SIGN SCHEDULE**

#	SIZE		TEXT/MESSAGE	BACKGROUN D COLOR	LETTERS/SYMBOLS		REMARKS
	W	L			H	COLOR	
4	2'-0"	3'-0"	CAUTION UNDER CONSTRUCTION WATCH FOR SIGNS	ORANGE	4"	BLACK	
24	2'-0"	3'-0"	NO PARKING THIS AREA	ORANGE	4"	BLACK	
6	2'-0"	3'-0"	EXIT	ORANGE	6"	BLACK	MANUFACTURE SIGN WITH A ROTABLE ARROW THAT CAN BE LOCKED INTO POSITION.
6	3'-0"	3'-0"	DO NOT ENTER	RED	4"	WHITE	

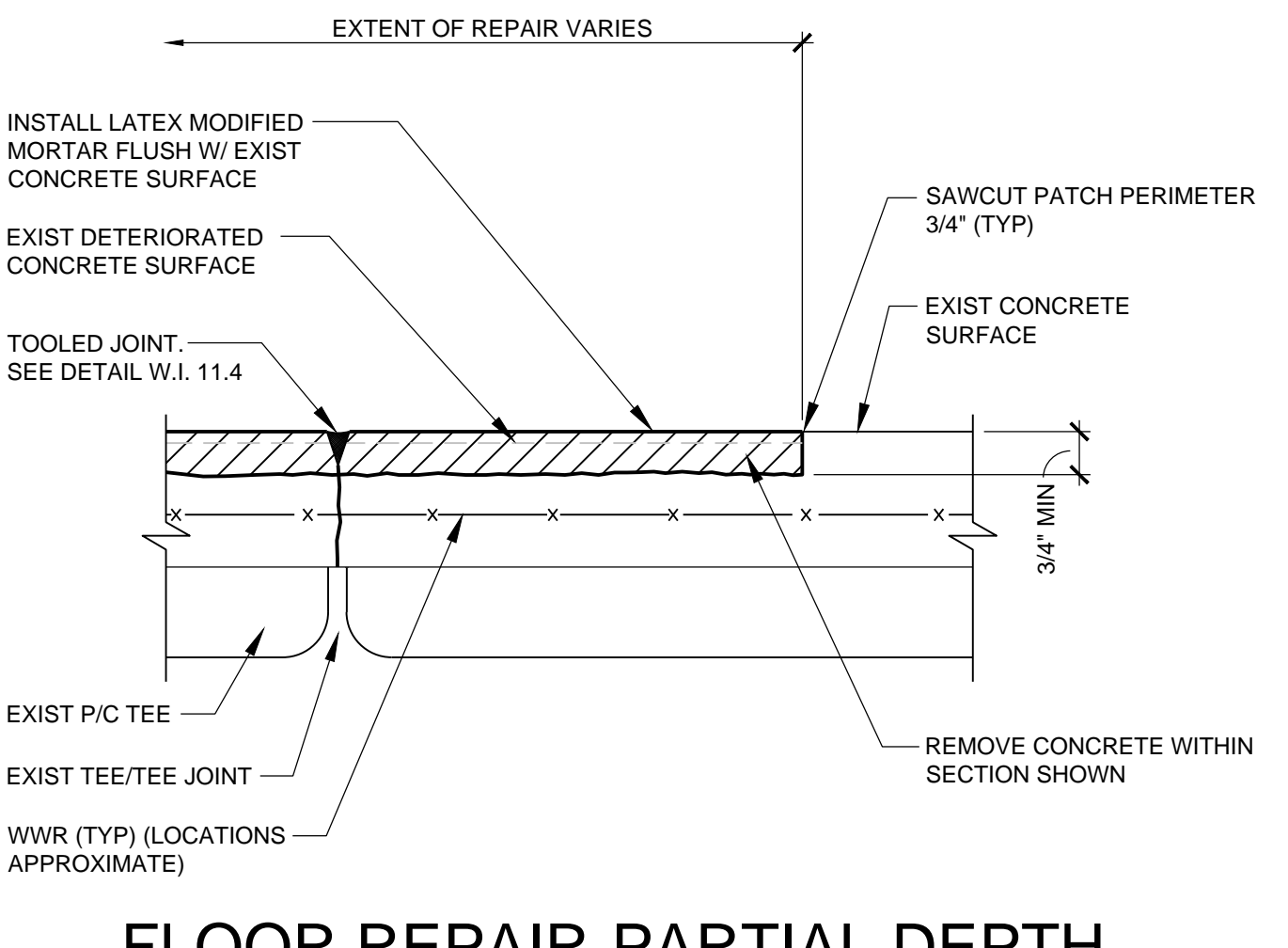
**1.5 TEMPORARY SIGNAGE**



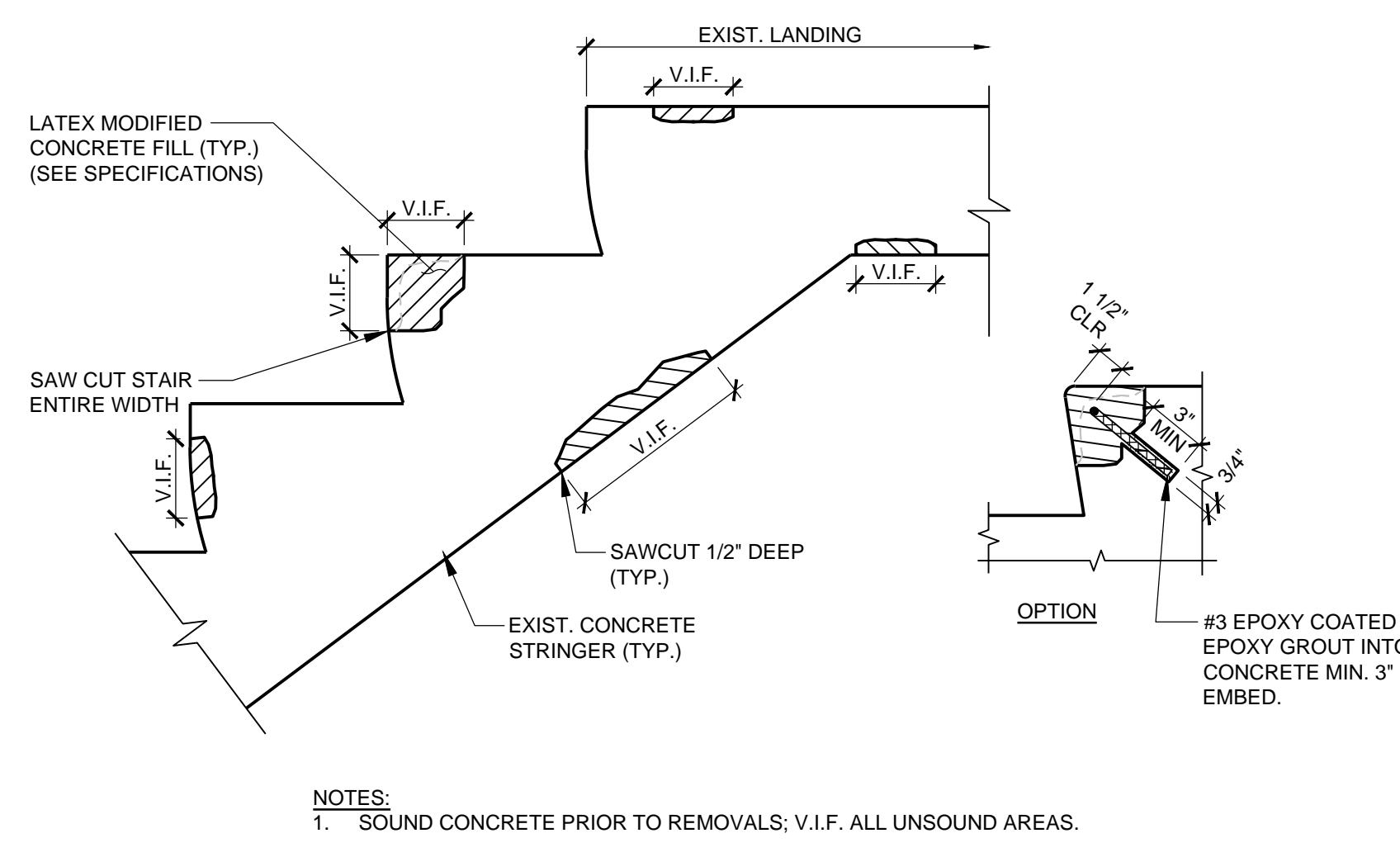
**3.1 FLOOR REPAIR-PARTIAL DEPTH**



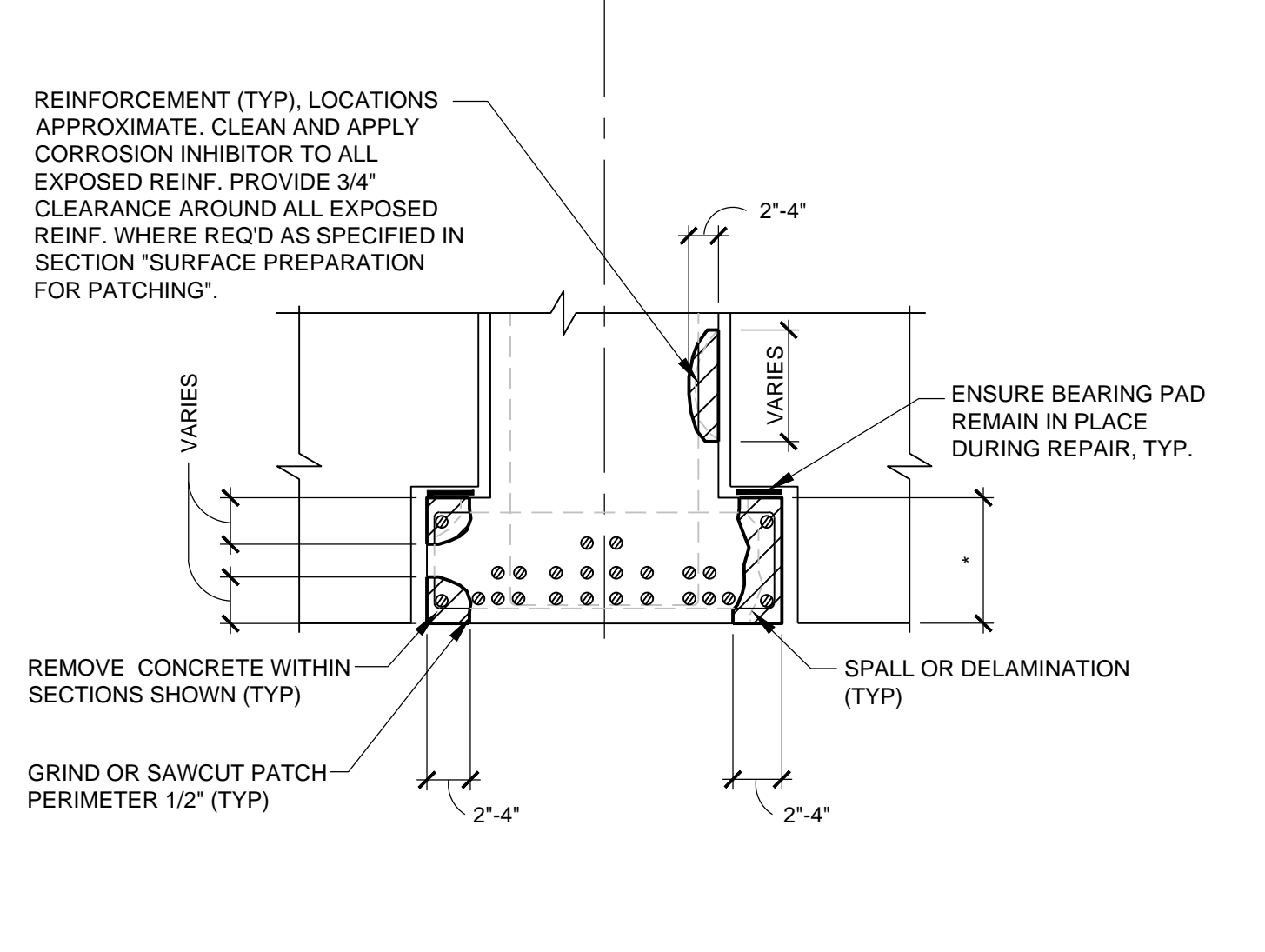
**3.4 FLOOR REPAIR-CURBS/WALKS**



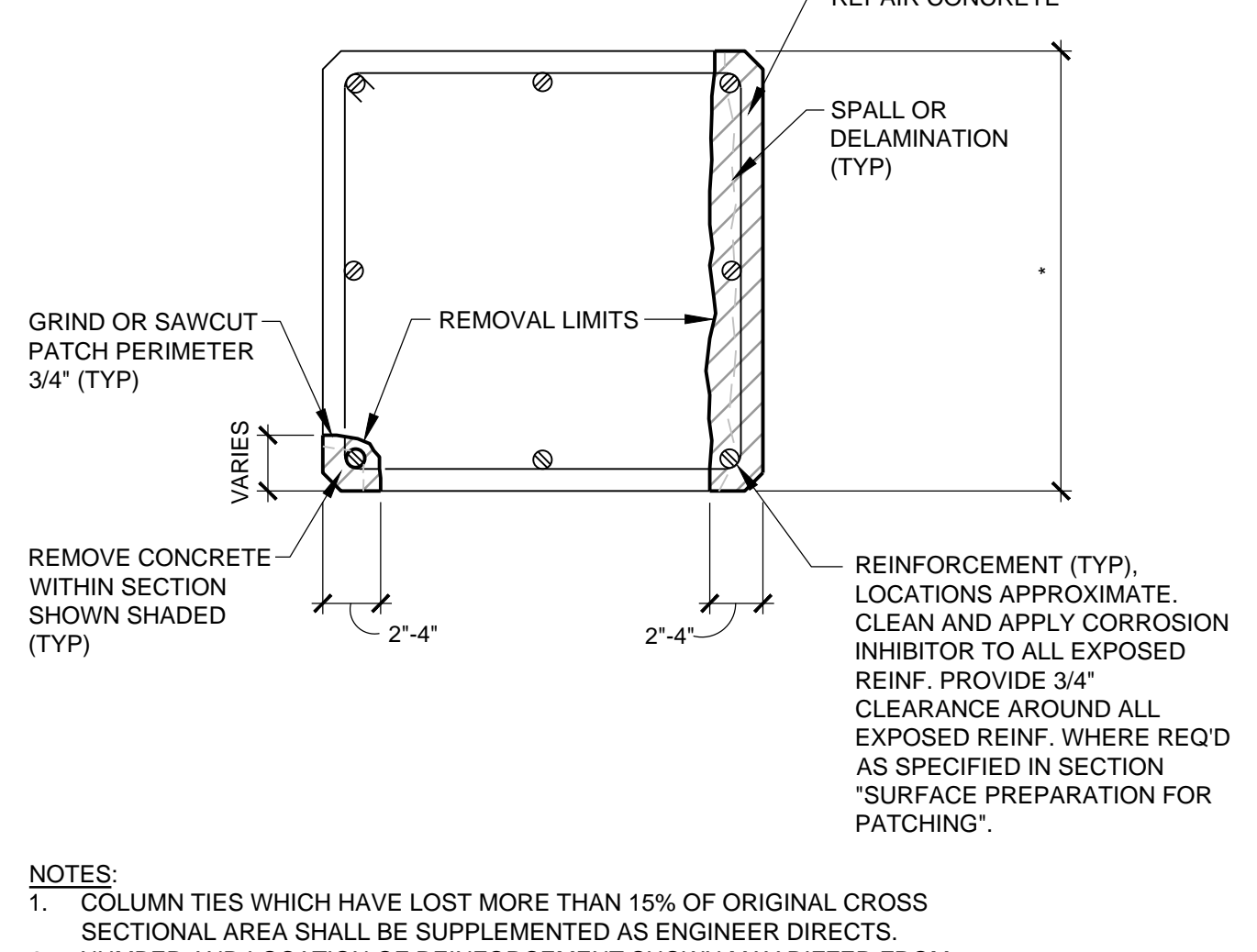
**3.8 FLOOR REPAIR-PARTIAL DEPTH @ JOINT/SCALING REPAIRS**



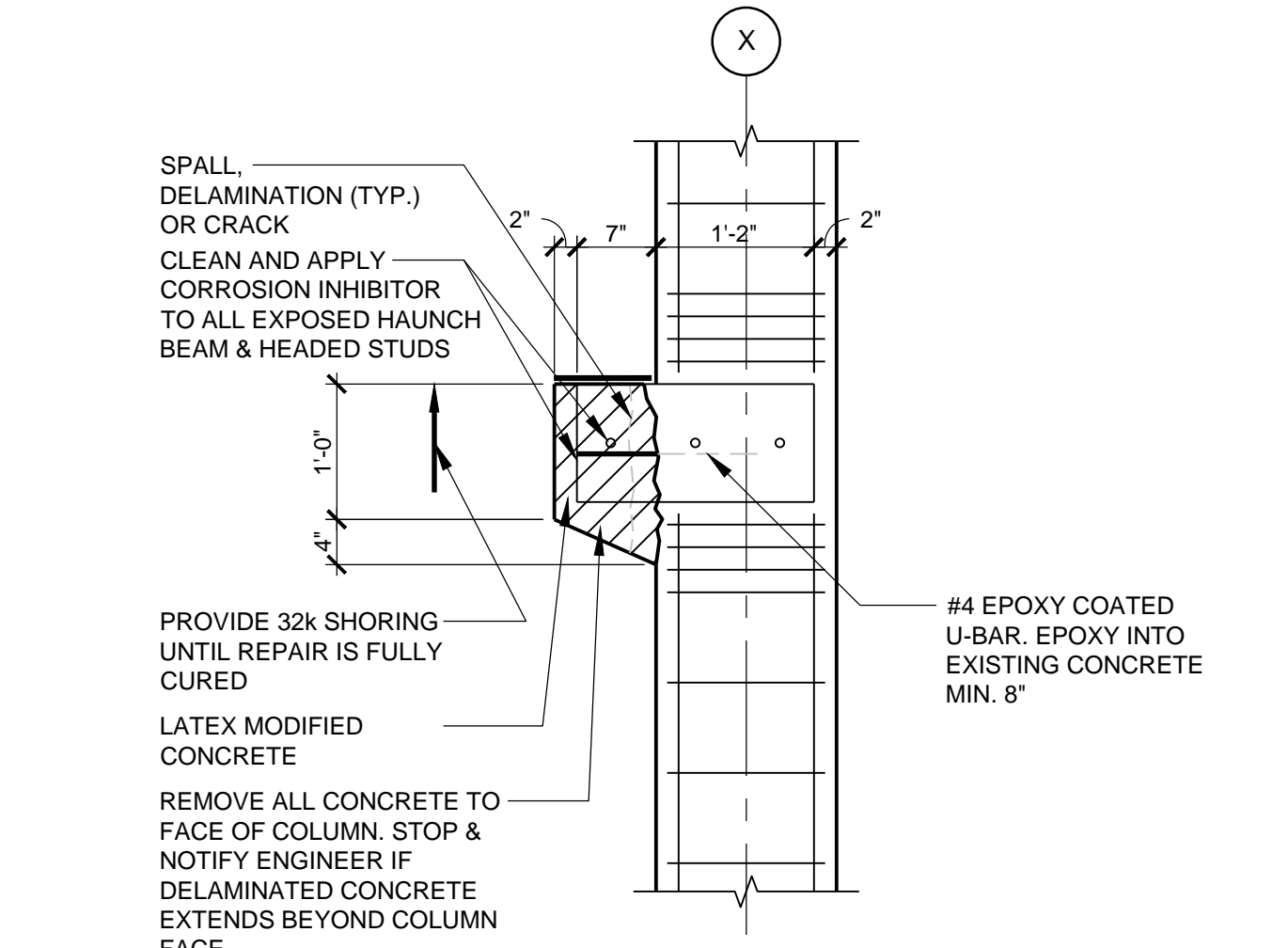
**3.10 STAIR REPAIRS - PARTIAL DEPTH @ STEPS/STRINGERS/LANDINGS**



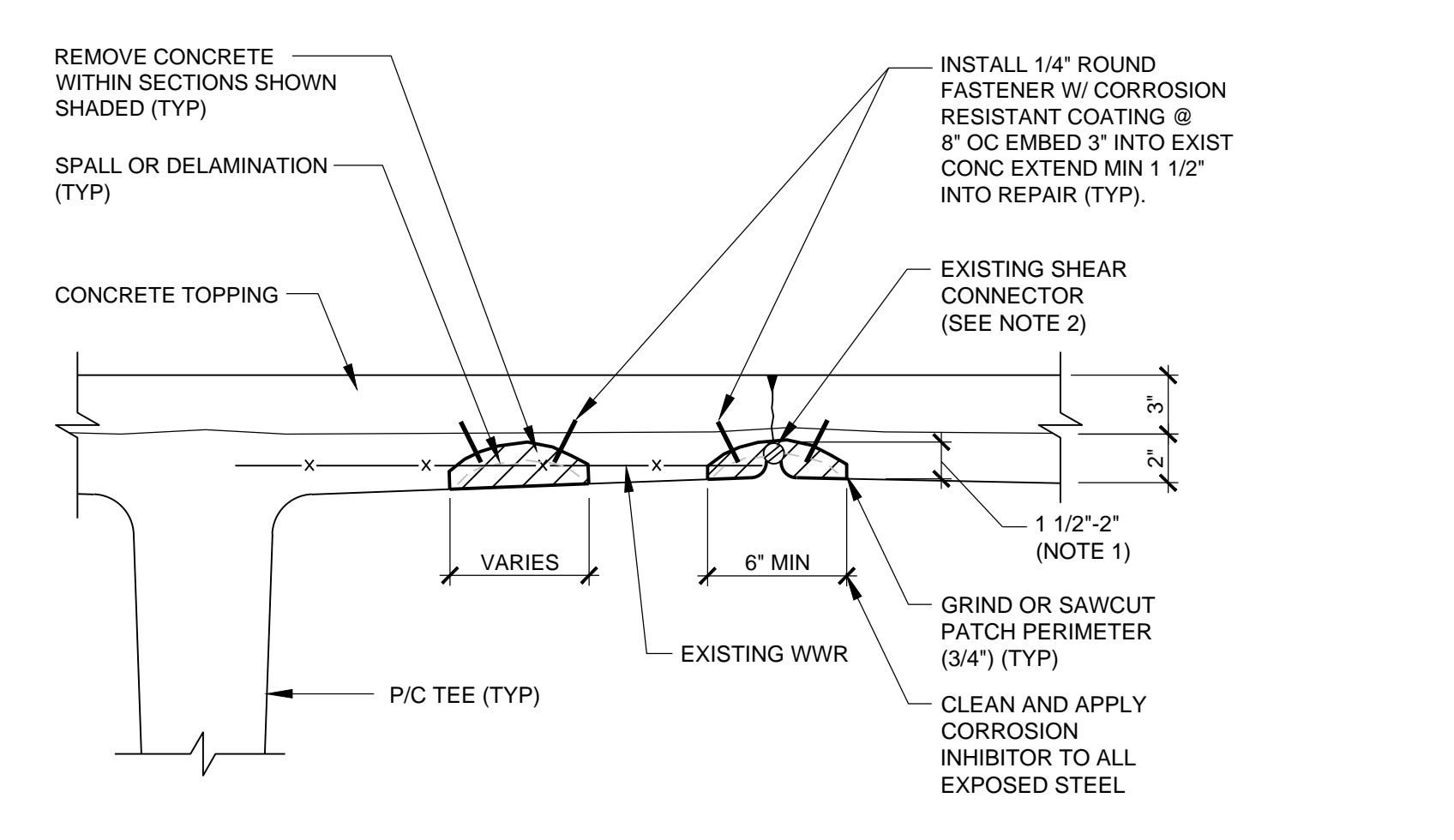
**5.1 BEAM REPAIR-PARTIAL DEPTH**



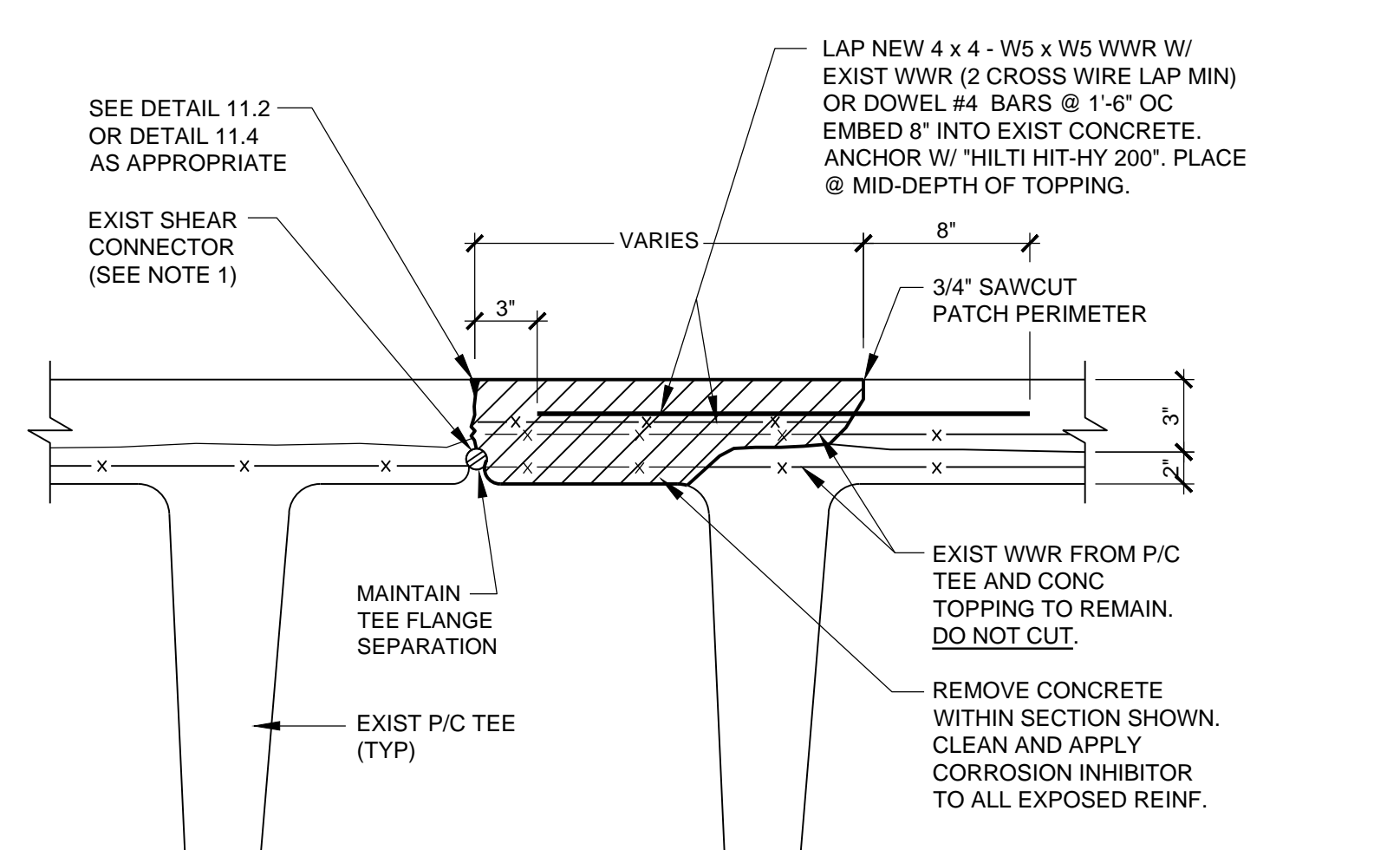
**6.1 COLUMN REPAIR-PARTIAL DEPTH**



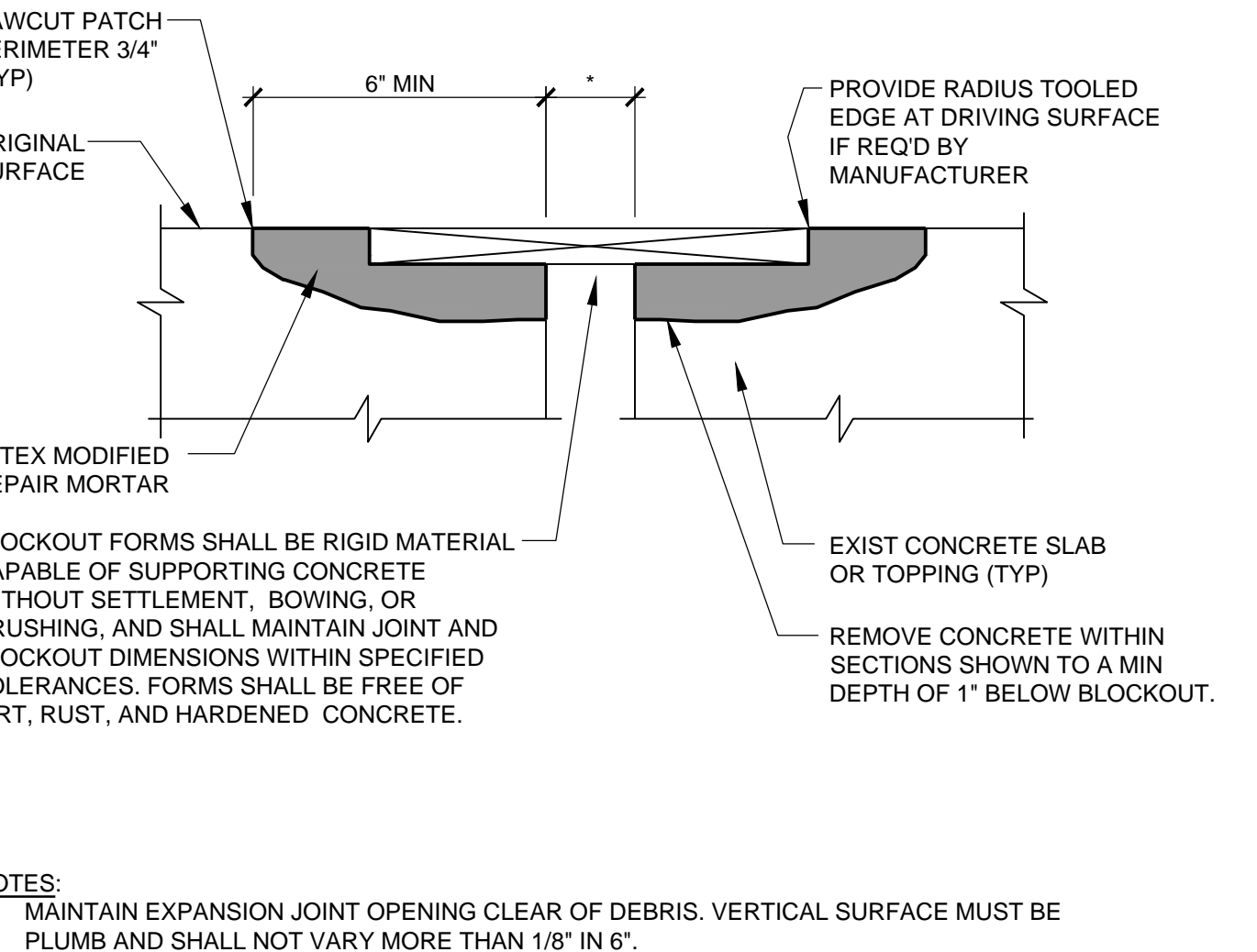
**6.6 COLUMN REPAIR-HAUNCHES**



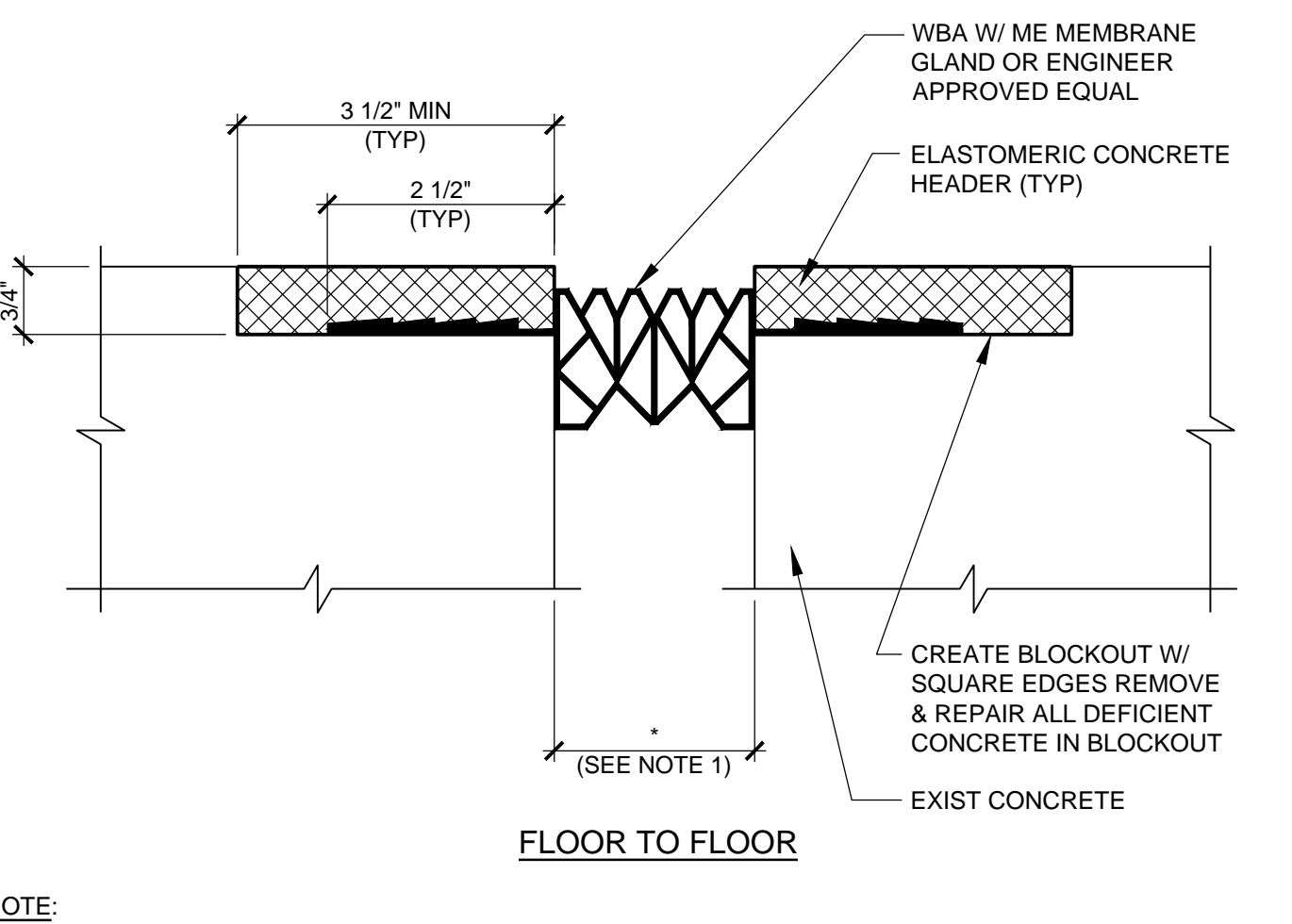
**8.4 TEE FLANGE REPAIR-PARTIAL DEPTH**



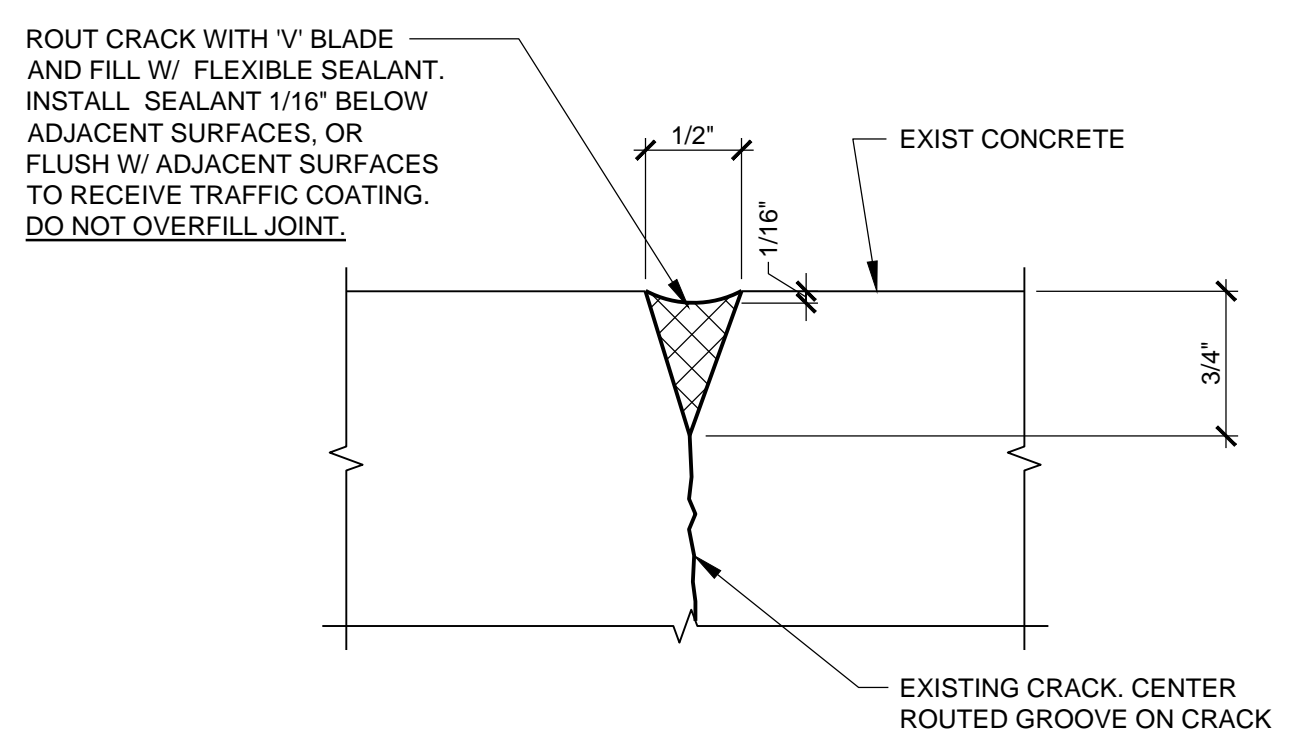
**8.5 TEE FLANGE REPAIR-FULL DEPTH**



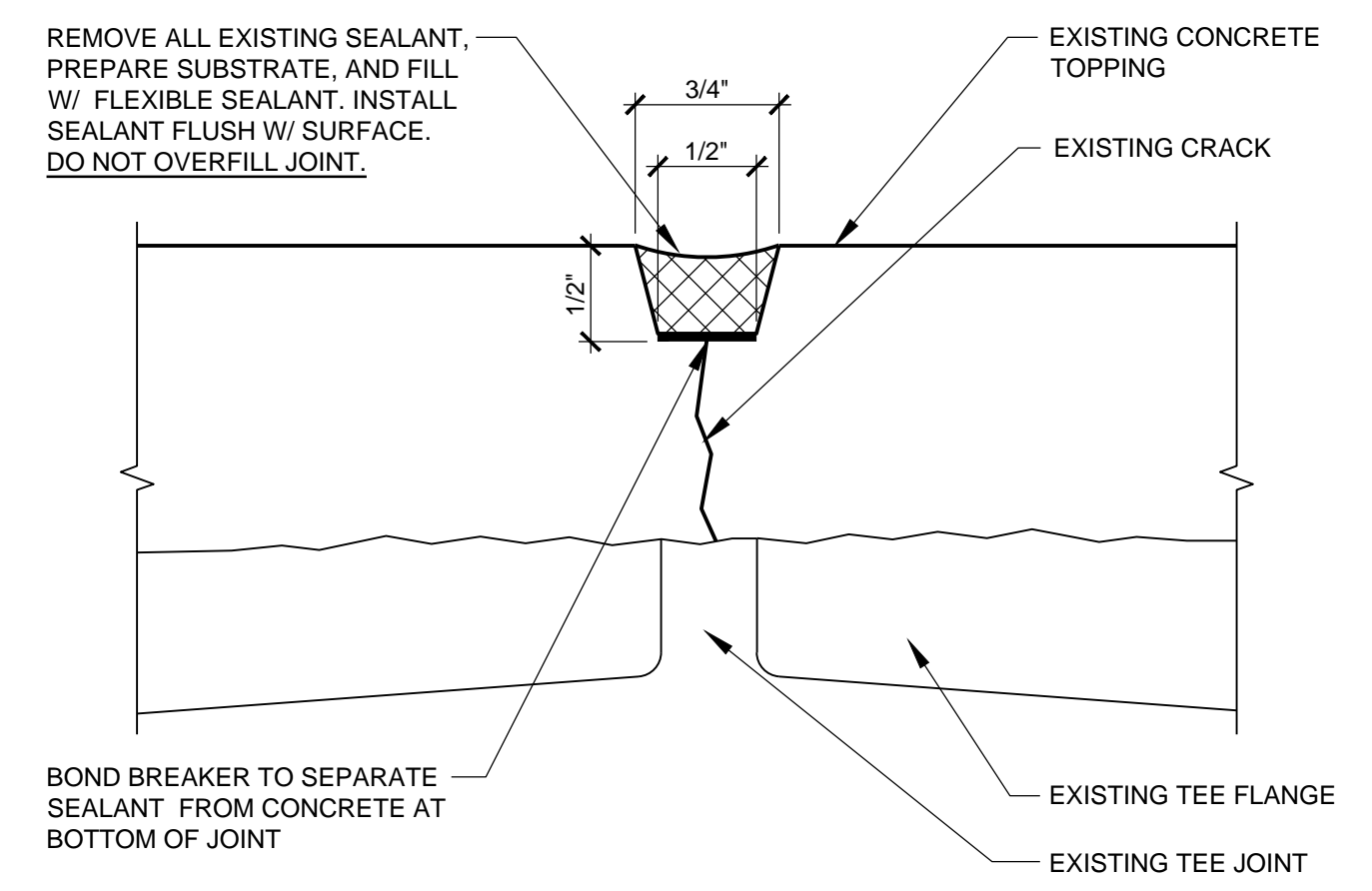
**9.1 EXPANSION JOINT PREPARATION-NEW BLOCKOUT**



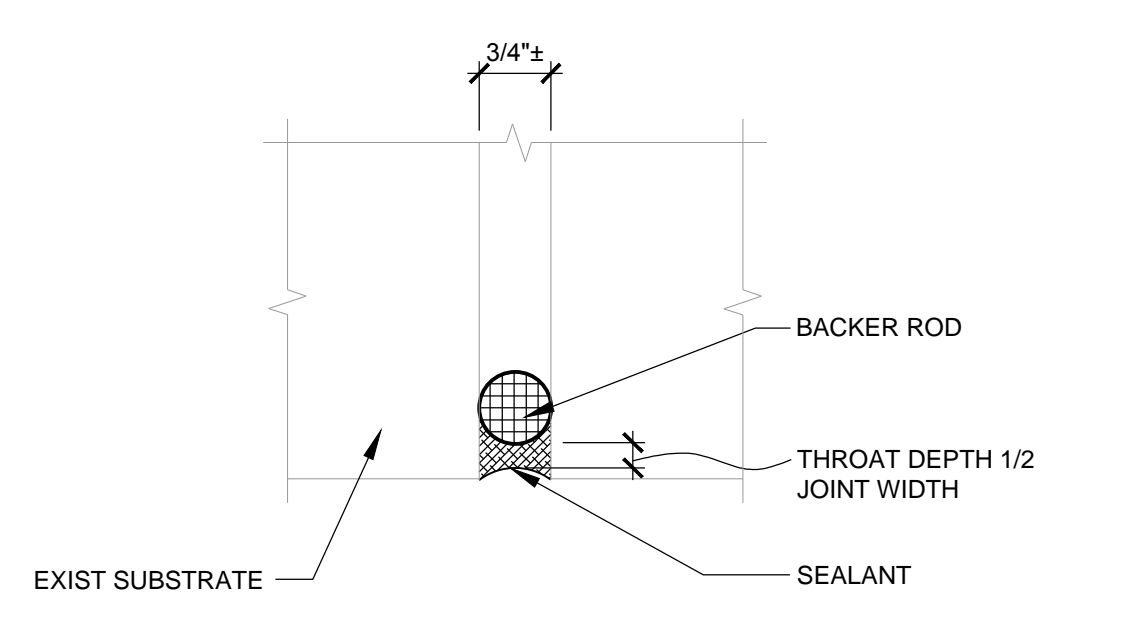
**10.3 EXPANSION JOINT-ELASTOMERIC CONCRETE EDGED**



**11.1 ROUT & SEAL RANDOM CRACKS (CRACKS 0.030" OR GREATER)**

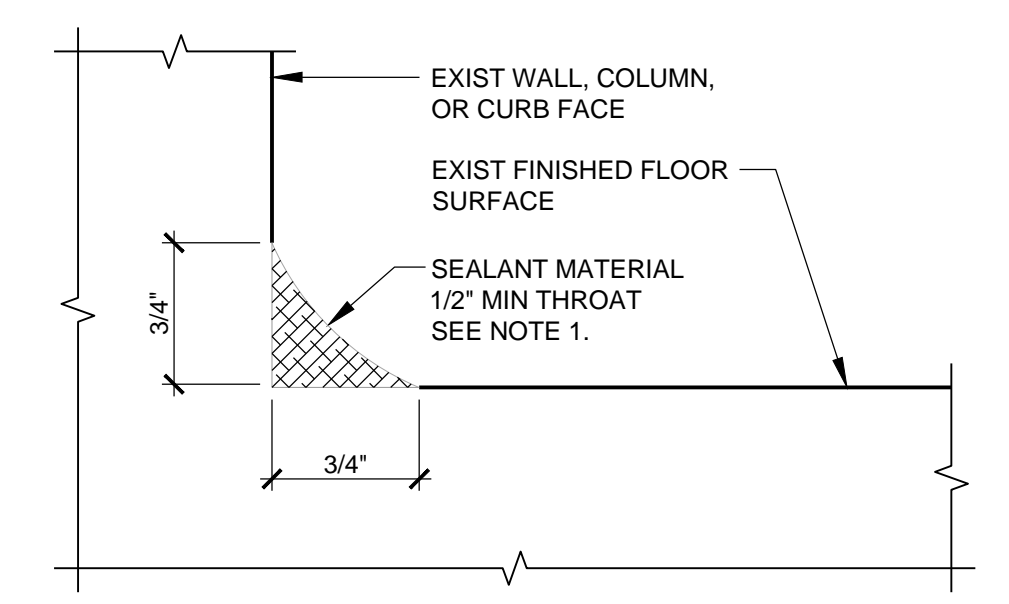


**11.2 REPAIR TEE JOINT SEALANT**



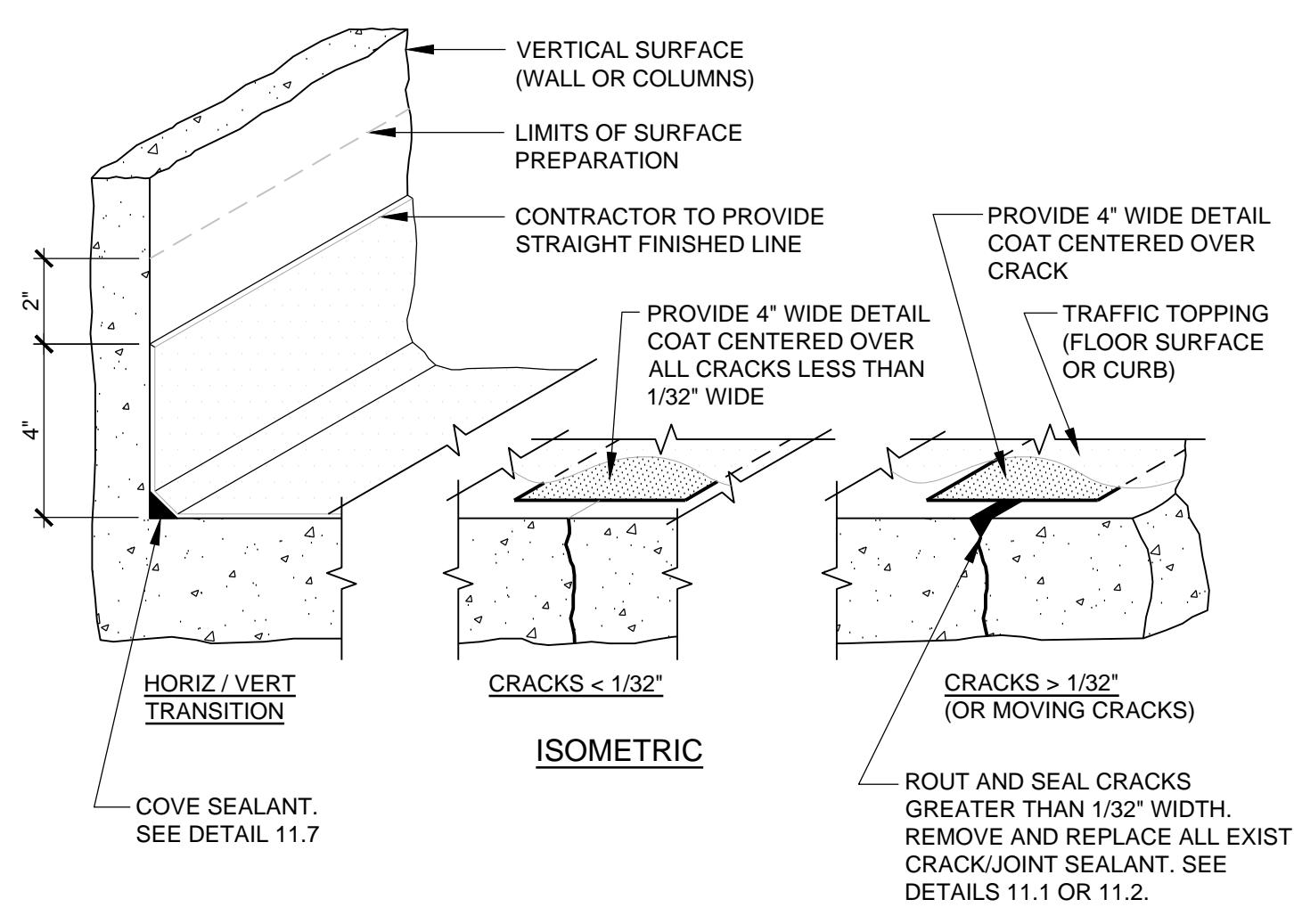
**NOTES:**  
1. REMOVE ALL EXISTING SEALANT AND BACKER ROD AS REQUIRED TO EXPOSE BASE FACADE.  
2. CLEAN ALL DUST AND DEBRIS FROM JOINT, MAKE SURE JOINT IS CLEAN AND DRY.  
3. PREPARE AND PRIME SEALANT CAVITY ACCORDING TO SEALANT MANUFACTURER'S RECOMMENDATIONS.

**11.3 FACADE SEALANT REPLACEMENT**



**NOTE:**  
1. REMOVE EXISTING COVE SEALANT MATERIAL IF PRESENT. PREPARE SURFACE PER SPECIFICATIONS.

**11.7 COVE SEALANT**



**NOTE:**  
1. QUANTITIES BASED ON HORIZONTAL APPLICATION AREA. VERTICAL DETAILING, ADDITIONAL DETAIL COAT OVER CRACKS, ROUTING AND SEALING CRACKS, INSTALLATION OF COVE SEALANT, AND REMOVAL AND REPLACEMENT OF EXISTING SEALANTS ARE INCIDENTAL TO THIS WORK.

**16.1 TRAFFIC TOPPING-VEHICULAR/RECOAT**

NO.	DATE	DESCRIPTION	ISSUED
1	08/08/19	ISSUED FOR CLIENT REVIEW	

PROJECT NO:	18-1590.00
DRAWN BY:	EB
CHECKED BY:	JYG
SHEET TITLE:	REPAIR DETAILS

**R-502.00**